

# 125 - 131 BAXTER ROAD, MASCOT

## DRAWING LIST

DRAWING No.	TITLE	REVISION
DA00.00	Cover Sheet	D
DA00.01	Site Plan	D
DA00.02	Survey Plan	A
DA00.03	Demolition Plan	C
DA00.04	Setback Diagrams	C
DA01.00	Basement 1	C
DA01.01	Ground Floor	C
DA01.02	Level 1	E
DA01.03	Level 2	C
DA01.04	Level 3	C
DA01.05	Level 4	C
DA01.06	Level 5	C
DA01.07	Level 6	C
DA01.08	Level 7	C
DA01.09	Level 8	C
DA01.10	Level 9	C
DA01.11	Roof	C
DA02.01	South & East Elevation	C
DA02.02	North & West Elevation	C
DA03.01	Sections	C
DA04.01	Gross Floor Area	D
DA04.02	Landscape & Deep Soil Area	C
DA05.01	Development Summary	E
DA05.02	Materials Palette	A
DA06.01	Shadow Diagrams	C
DA08.01	Airspace Contour Diagram	C



### DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
	B	13.09.2024 RFI Response	RL
	C	27.11.2024 Post Planning Panel Amendments	GK
	D	13.12.2024 Post Planning Panel Amendments	GK

13/12/2024 11:44:13 AM

Project 125-131 Baxter Road Drawing Cover Sheet

125-131 Baxter Road, Mascot  
NSW 2020

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Project No 221086 Author AT

Scale: @ A1

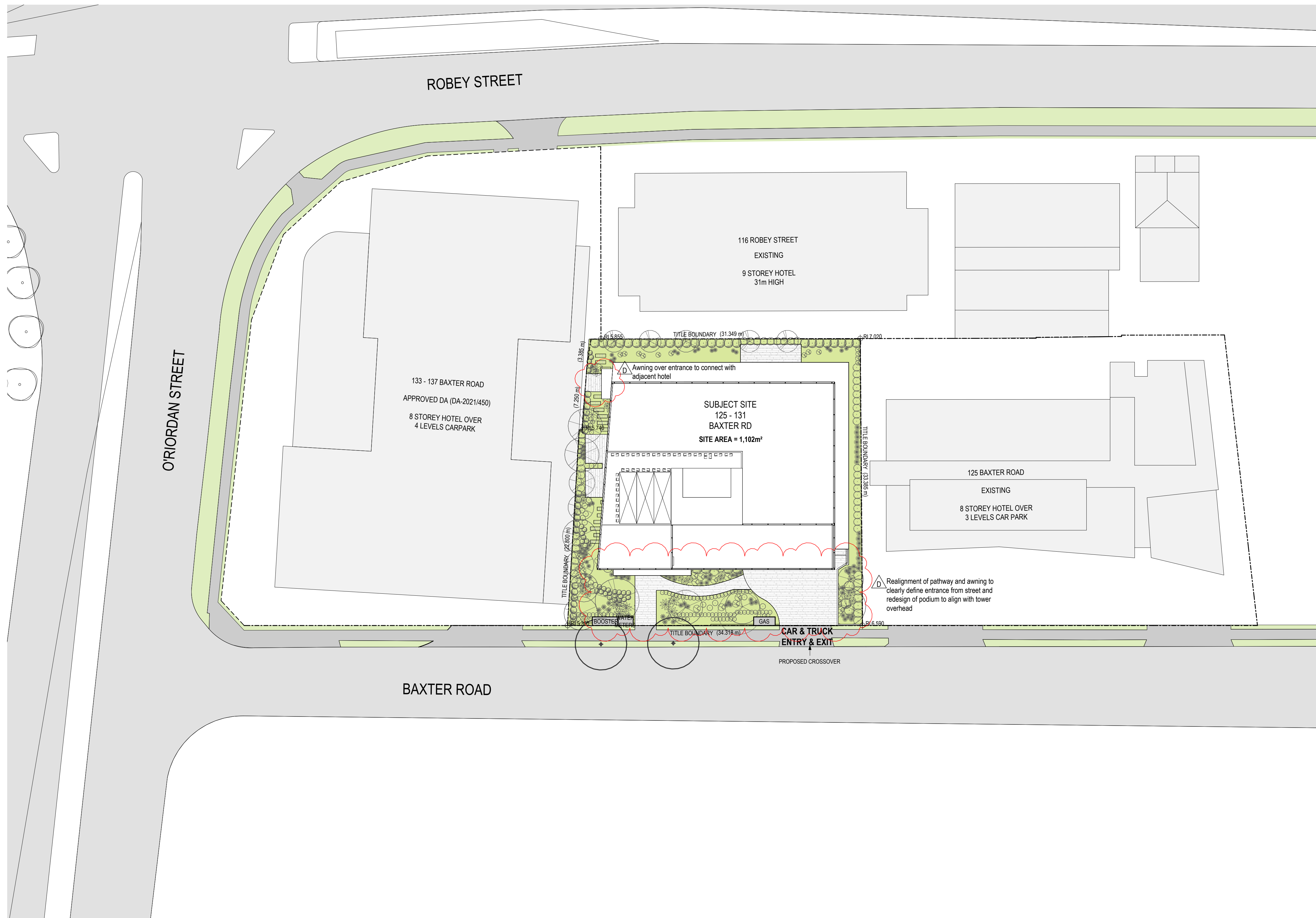
Drawing No DA00.00

Revision D

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## DEVELOPMENT APPLICATION

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	B	13.09.2024	RFI Response	RL
	C	20.09.2024	RFI Response	RL
	D	27.11.2024	Post Planning Panel Amendments	GK

13/12/2024 11:44:15 AM

Project **125-131 Baxter Road**

Drawing **Site Plan**

Project No **221086** Author **AT**

Scale: @ A1 **1 : 250**

Drawing No **DA00.01**

Revision **D**

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DEVELOPMENT APPLICATION

Revisions / A 25.10.2023 Development Application AT

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Project / 125-131 Baxter Road Drawing / Survey Plan

125-131 Baxter Road, Mascot  
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Project No / 221086 Author / AT

Scale: @ A1 / 1 : 200

Drawing No. / DA00.02

Revision / A

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DEMOLITION NOTES

CONTRACTOR TO CONFIRM EXISTING CONDITIONS ON SITE.

CONTRACTOR TO DEMOLISH EXISTING STRUCTURE.REMOVE ALL MATERIALS. CUT AND SEAL SERVICES AS REQUIRED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS AND A.S. CODES FOR THAT TRADE U.N.O

PROTECTION OF WORKS AS REQUIRED BY LOCAL AUTHORITIES

CLEANING OF SITE TO EPA REQUIREMENTS BY CONTRACTOR

ASBESTOS

CONTRACTOR TO ALLOW FOR COMPLETE DEMOLITION & REMOVAL OF ALL ASBESTOS PRODUCTS. ALL ASBESTOS PRODUCTS TO BE REMOVED & HANDLED AS PER RELEVANT AUSTRALIAN STANDARDS

EXTENT OF DEMOLITION WORK AS INDICATED ON THIS DRAWING & HERITAGE CONSULTANTS DRAWINGS & SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

REMOVAL/DEMOLITION OF ALL EXISTING FLOOR/SLABS & FOOTINGS, EXTERNAL AND INTERNAL WALLS, WINDOWS, DOORS, CLADDING, GUTTERS, DOWNPIPES, RAINWATER HEADS, CAPPINGS, FLASHING GUTTER BOARD SUPPORTS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING WORKS INCLUDING BUT NOT LIMITED TO EXTERNAL STEPS, PATHS, CARPARKS, PLANTERS & LANDSCAPING, GATES, FENCES, GARDEN WALLS, RETAINING WALLS, BOLLARDS, LIGHT BLADES SIGNS, COLUMNS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING FIXTURES AND FITTINGS INCLUDING BUT NOT LIMITED TO LIGHTS, TAPS, BASINS, WCS ETC. DISCONNECTION & REMOVAL OF EXISTING SERVICES TO BE UNDERTAKEN BY APPROPRIATE CONTRACTORS

CONTRACTOR TO MAKE GOOD DAMAGE TO ADJOINING BUILDINGS, PAVEMENT, LANEWAYS, ROADS, FENCES, KERBS, CHANNELS, SERVICES, STREET FURNITURE, CARSPACE MARKINGS ETC. (IE ANY ADJOINING OBJECTS/MATERIALS NOT WITHIN SITE BOUNDARY) RESULTING FROM DEMOLITION WORKS.

ALL REPAIRS TO AUTHORITY REQUIREMENTS OR TO CONDITION PRIOR TO DEMOLITION. CONTRACTORS ARE RESPONSIBLE FOR RELOCATION AND CO-ORDINATION OF ROAD CARPARKING MARKINGS, TICKET MACHINES ETC.

PRELIMINARY PRECAUTIONARY MEASURES TO BE UNDERTAKEN AS DESCRIBED IN AS 2601:2001. A "HAZARDOUS SUBSTANCES MANAGEMENT PLAN" IS TO BE IMPLEMENTED BEFORE AND DURING DEMOLITION IF THE PRELIMINARY INVESTIGATION OF THE BUILDING IDENTIFIES ANY HAZARDOUS MATERIALS CONTAINED THEREIN. THESE MATERIALS WILL BE REMOVED AS PER THE GUIDELINES OF THE RESPONSIBLE AUTHORITY AND CLEARANCE CERTIFICATE OBTAINED BEFORE DEMOLITION COMMENCES

SAFETY FENCING SECURITY FENCES SHALL BE PROVIDED TO THE STREET BOUNDARY OF THE DEMOLITION SITE AND ANY ADDITIONAL PRECAUTIONARY MEASURES, TAKEN AS MAY BE NECESSARY TO PREVENT UNAUTHORISED ENTRY TO THE SITE. WHERE THE DEMOLITION SITE ADJOINS A PUBLIC THOROUGHFARE THE COMMON BOUNDARY BETWEEN THEM SHALL BE FENCED FOR ITS FULL LENGTH WITH A HOARDING UNLESS THE LEAST HORIZONTAL DISTANCE BETWEEN THE COMMON BOUNDARY AND THE NEAREST PART OF THE STRUCTURE IS GREATER THAN TWICE THE HEIGHT OF THE STRUCTURE. THE FENCING SHALL BE THE EQUIVALENT OF THE CHAIN WIRE AS SPECIFIED IN AS 1725

NOTICES LETTERED IN ACCORDANCE WITH AS 1319 AND DISPLAYING THE WORDS "WARNING DEMOLITION IN PROGRESS", OR SIMILAR, SHALL BE FIXED TO THE FENCING AT APPROPRIATE PLACES TO WARN THE PUBLIC. PROVISION SHALL BE MADE FOR READY ACCESS TO THE SITE BY EMERGENCY SERVICES PERSONNEL IN THE EVENT OF FIRE OR ACCIDENT

DEMOLITION WORK STRUCTURES SHALL BE DEMOLISHED IN THE REVERSE ORDER TO THAT OF THEIR CONSTRUCTION. THE ORDER OF DEMOLITION FOR BUILDINGS SHALL BE PROGRESSIVE, STOREY BY STOREY, HAVING PROPER REGARD TO THE TYPE OF CONSTRUCTION. NO PART OF ANY STRUCTURE SHALL BE LEFT UNSUPPORTED OR UNATTENDED IN SUCH A CONDITION THAT IT MAY COLLAPSE OR BECOME DANGEROUS. PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT THE STABILITY OF ALL PARTS OF THE STRUCTURE, AND THE SAFETY OF PERSONS ON AND OUTSIDE THE SITE, WILL BE MAINTAINED IN THE EVENT OF SUDDEN AND SEVERE WEATHER CHANGES.

WALLS ON THE BOUNDARIES ARE TO BE DEMOLISHED IN A SAFE AND WORKMANSHIP LIKE MANNER. WALLS SHALL NOT BE LATEROALLY LOADED BY ACCUMULATED DEBRIS OR RUBBLE, TO THE EXTENT THAT THEY ARE IN DANGER OF COLLAPSE. ALLOWABLE LOADING OF THE SUSPENDED FLOORS SHALL BE DETERMINED BY AN INDEPENDENT STRUCTURAL ENGINEER.

DUST CONTROL

THE TECHNIQUES ADOPTED FOR STRIPPING OUT AND FOR DEMOLITION SHALL MINIMISE THE RELEASE OF DUST INTO THE ATMOSPHERE. BEFORE THE COMMENCEMENT OF STRIPPING OR DEMOLITION IN AN AREA OF A STRUCTURE, ANY EXISTING ACCUMULATIONS OF DUST IN THAT AREA SHALL BE COLLECTED, PLACED IN SUITABLE CONTAINERS AND REMOVED. SELECTION OF AN APPROPRIATE COLLECTION TECHNIQUE, SUCH AS VACUUMING OR HOSING DOWN, SHALL TAKE DUE ACCOUNT OF THE NATURE OF THE DUST AND THE TYPE OF HAZARD IT PRESENTS. DUST GENERATED DURING STRIPPING, OR DURING THE BREAKING DOWN OF THE BUILDING FABRIC TO REMOVABLE SIZED PIECES, SHALL BE KEPT DAMP UNTIL IT IS REMOVED FROM THE SITE OR CAN BE OTHERWISE CONTAINED. THE USE OF EXCESS WATER FOR THIS PURPOSED SHALL BE AVOIDED.

NOISE CONTROL

NOISE SHALL BE MINIMISED AS FAR AS PRACTICABLE, BY THE SELECTION OF APPROPRIATE METHODS AND EQUIPMENT, AND BY THE USE OF SILENCING DEVICES WHEREVER PRACTICABLE TO EPA/CODE REQUIREMENTS.

NOTE:

1. ATTENTION IS DRAWN TO RECOMMENDATIONS IN AS 2436  
2. HOURS OF OPERATING EQUIPMENT MAY BE RESTRICTED BY REGULATORY AUTHORITY

FIRE SERVICES

WHERE A FIRE HYDRANT SERVICE OR A FIRE HOSE REEL SERVICE IS PROVIDED IN A BUILDING, IT SHALL BE AVAILABLE AT ALL TIMES DURING THE DEMOLITION OF THE BUILDINGS, SO THAT ALL REMAINING STOREYS EXCEPT THE TWO UPPERMOST STOREYS, ARE SERVICED. ACCESS TO THE FIRE PROTECTION SERVICES, INCLUDING ANY BOOSTER FITTING, SHALL BE MAINTAINED AT ALL TIMES. IF A SPRINKLER SYSTEM IS INSTALLED IN A BUILDING TO BE DEMOLISHED, IT SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT EACH STOREY BELOW THE TWO UPPERMOST UNSTRIPPED STOREYS.

SUITABLE PORTABLE FIRE EXTINGUISHERS SHALL BE KEPT AT ALL TIMES IN WORKING AREA AND ARE NOT PROTECTED BY OTHER FIRE SERVICES, AND MAINTAINED IN AN OPERABLE CONDITION.

ADJOINING PROPERTIES

SAFE ACCESS TO AND EGRESS FROM ADJOINING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES FOR THE DURATION OF THE DEMOLITION WORK. NO DEMOLITION ACTIVITY SHALL CAUSE DAMAGE TO OR ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF ADJOINING BUILDINGS. THE EFFECTS OF VIBRATION AND CONVERSION ON ADJOINING BUILDINGS AND THEIR OCCUPANTS SHALL BE MINIMISED BY SELECTING DEMOLITION METHODS AND EQUIPMENT APPROPRIATE TO THE CIRCUMSTANCES. WHERE ANY SURFACE OF AN ADJOINING BUILDING IS EXPOSED BY DEMOLITION, THE NEED FOR WEATHERPROOFING THE EXPOSED SURFACE SHALL BE INVESTIGATED AND TEMPORARY OR PERMANENT PROTECTION PROVIDED AS APPROPRIATE. PRECAUTIONS SHALL BE TAKEN TO MINIMISE THE SPREADING OF MUD AND DEBRIS BY VEHICLES LEAVING THE SITE.


GENERAL

OPENINGS IN EXISTING WALLS AND FLOORS, THROUGH WHICH THERE IS A RISK OF PERSONS FALLING TO LOWER LEVEL, SHALL BE EITHER PROPERLY GUARDED OR BOARDED OVER AND THE BOARDING SECURED AGAINST UNAUTHORISED OR ACCIDENTAL REMOVAL. PRECAUTIONS SHALL BE TAKEN TO PREVENT GLASS FROM FALLING ON ANY PERSON IN OR OUTSIDE THE BUILDING. DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO FALL FREELY OUTSIDE THE STRUCTURE UNLESS IT IS CONFINED WITHIN A CHUTE OR SIMILAR ENCLOSURE, WHICH IS CLEAR OF OBSTRUCTIONS TO OBJECTS FALLING FREELY.

DEMOLISHED MATERIAL SHALL BE REMOVED PROGRESSIVELY FROM THE SITE AND AT ANY TIME, SHALL NOT BE ALLOWED TO ACCUMULATE TO THE EXTENT THAT IT PRESENTS A HAZARD TO THE PUBLIC OR TO SITE PERSONNEL.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH HERITAGE CONSULTANTS DRAWINGS AND SPECIFICATIONS

LEGEND

 BUILDING & STRUCTURES TO BE DEMOLISHED

DEVELOPMENT APPLICATION

Revisions	A	25.10.2023	Development Application	AT
	B	13.09.2024	RFI Response	RL
	C	20.09.2024	RFI Response	RL

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Project 125-131 Baxter Road

Drawing Demolition Plan

Project No 221086

Author AT

Scale: @ A1 1 : 200

Drawing No. DA00.03

Revision c

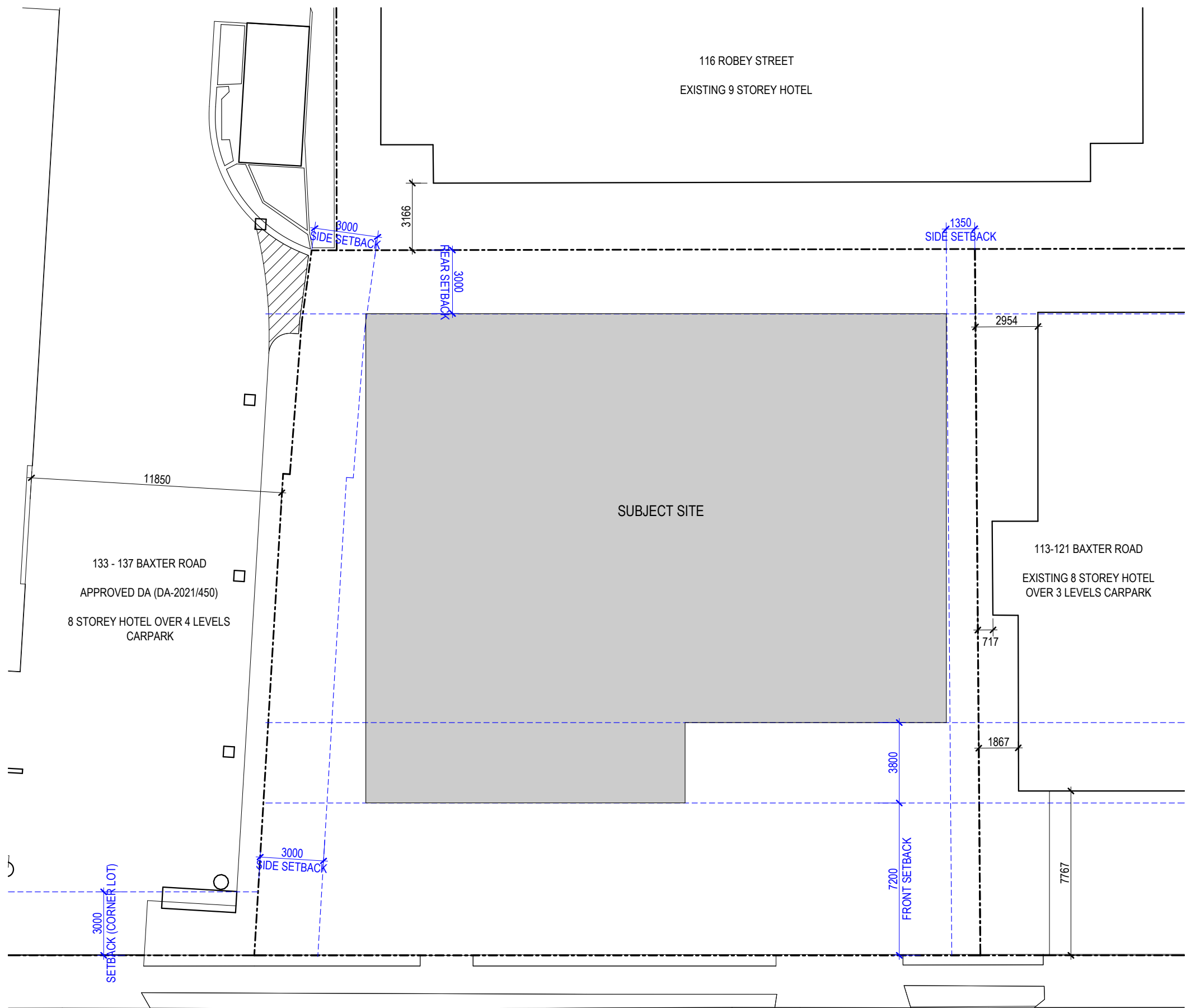
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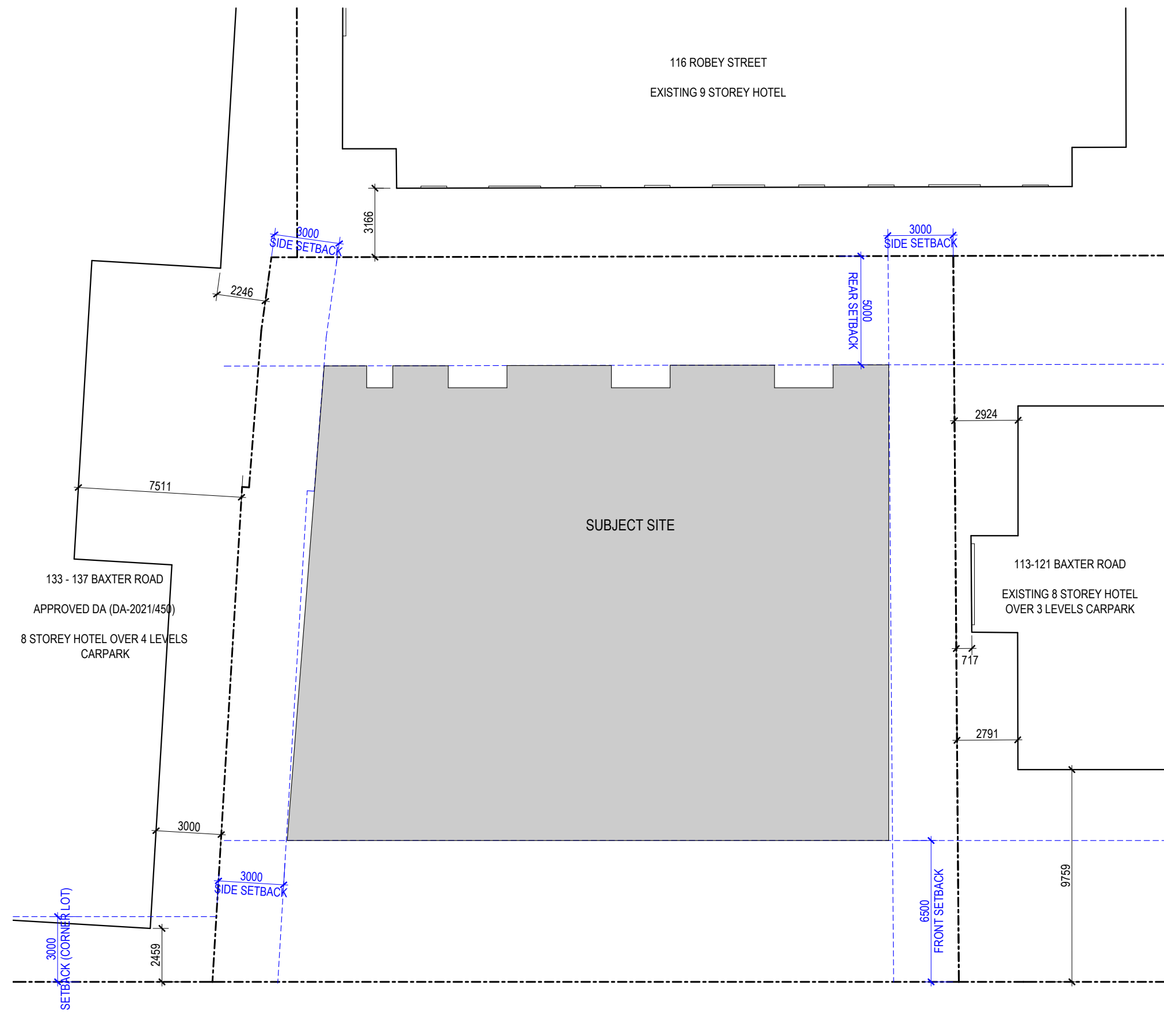
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BAXTER ROAD

GROUND LEVEL



BAXTER ROAD

TYPICAL TOWER LEVEL

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Project **125-131 Baxter Road**

Drawing **Setback Diagrams**

Project No **221086** Author **AT**

Scale: @ A1 **1 : 200**

Drawing No **DA00.04**

Revision **C**

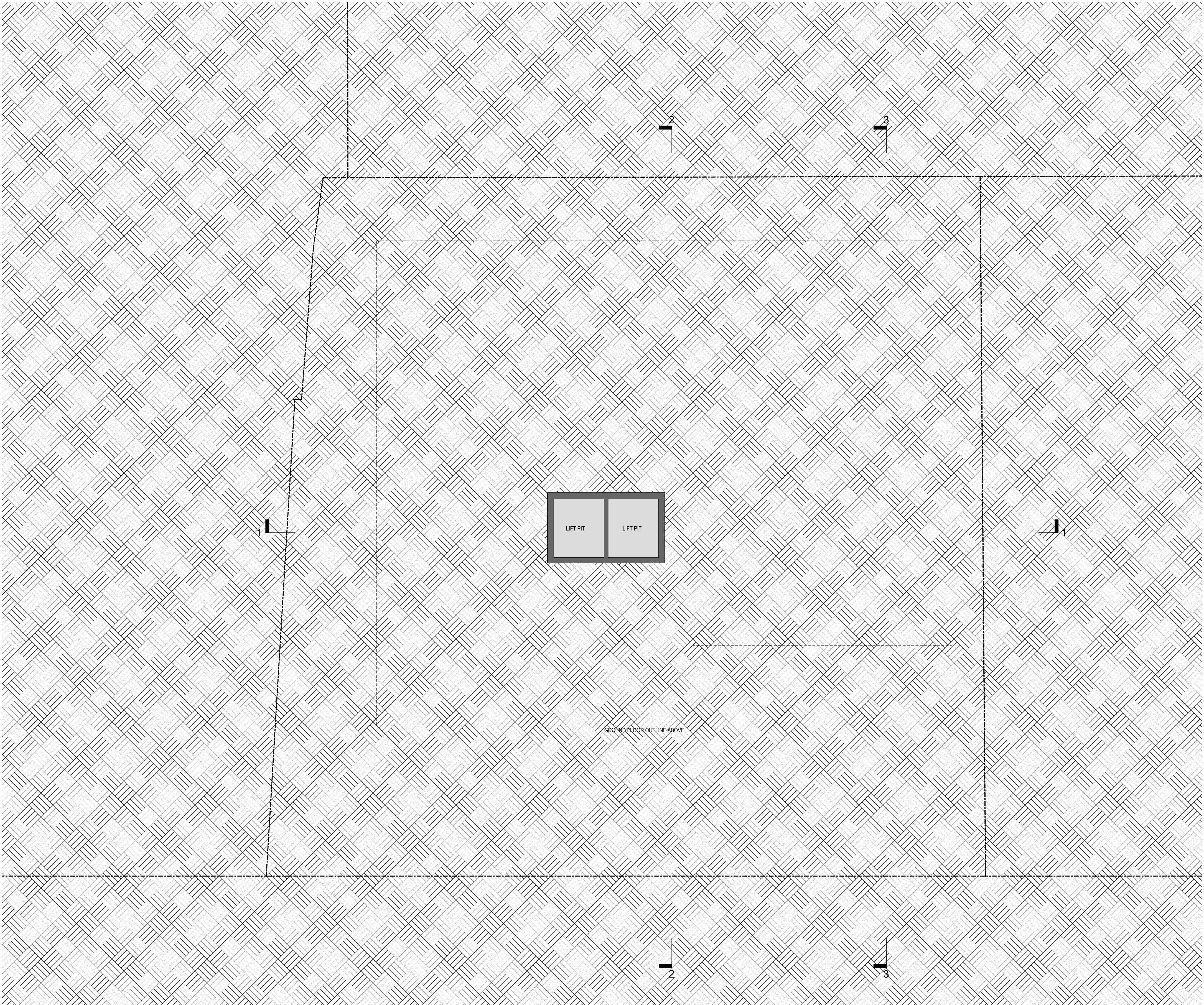
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AT  
RL  
RL

ABBREVIATIONS	
CP EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K EX	KITCHEN EXHAUST
P EX	PUMP ROOM EXHAUST
R EX	SERVICES ROOM EXHAUST
G EX	GARBAGE EXHAUST RISER
RA	RELIEF AIR
SP	STAIR PRESSURISATION
C.SUP	CARPARK SUPPLY

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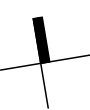
Drawing Basement 1

Project No 221086 Author AT

Scale: @ A1 1 : 100

Drawing No. DA01.00

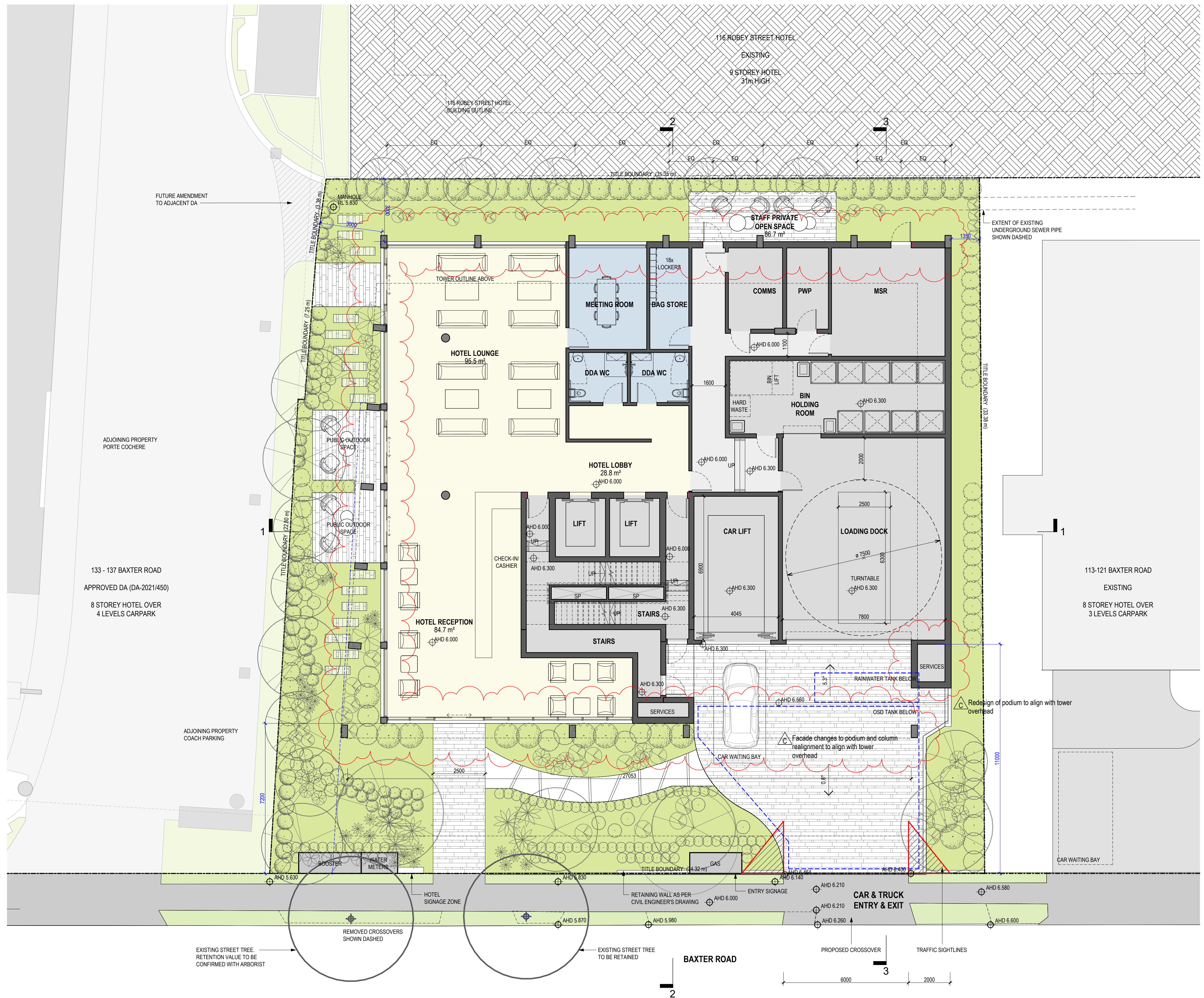
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GEX	GARBAGE EXHAUST RISER
RA	RELIEF AIR
SP	STAIR PRESSURISATION
C.SUP	CARPARK SUPPLY

Project **125-131 Baxter Road**

Drawing **Ground Floor**

Project No **221086**

Author **AT**

Scale: @ A1 **1 : 100**

Drawing No **DA01.01**

Revision **C**

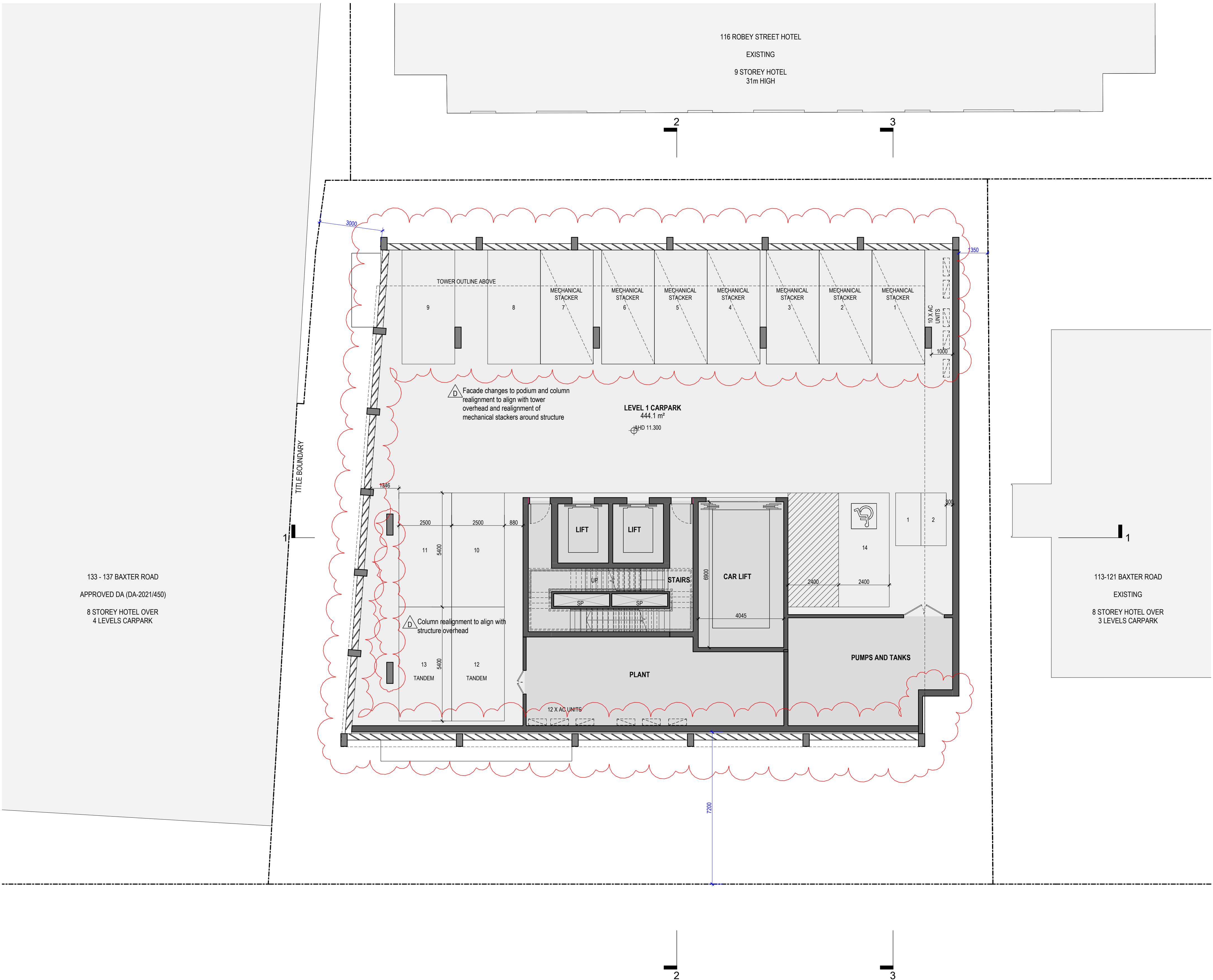
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DEVELOPMENT APPLICATION

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Project 125-131 Baxter Road

Drawing Level 2

Project No 221086 Author AT

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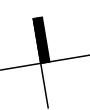
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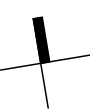
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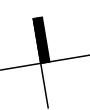
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DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
	B	13.09.2024 RFI Response	RL
	C	20.09.2024 RFI Response	RL

13/12/2024 11:44:25 AM

ABBREVIATIONS	
CP.EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K.EX	KITCHEN EXHAUST
P.EX	PUMP ROOM EXHAUST
R.EX	SERVICES ROOM EXHAUST
G.EX	GARBAGE EXHAUST RISER
R.A	RELIEF AIR
SP	STAIR PRESSURISATION
C.SUP	CARPARK SUPPLY

Project 125-131 Baxter Road

125-131 Baxter Road, Mascot  
NSW 2020  
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Drawing Level 6

Project No 221086 Author AT

Scale: @ A1 1 : 100

Drawing No. DA01.07

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DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
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ABBREVIATIONS	
CP.EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K.EX	KITCHEN EXHAUST
P.EX	PUMP ROOM EXHAUST
R.EX	SERVICES ROOM EXHAUST
G.EX	GARBAGE EXHAUST RISER
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C.SUP	CARPARK SUPPLY

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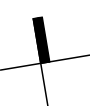
Drawing Level 7

Project No 221086 Author AT

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Drawing No. DA01.08

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DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
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ABBREVIATIONS	
CP.EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K.EX	KITCHEN EXHAUST
P.EX	PUMP ROOM EXHAUST
R.EX	SERVICES ROOM EXHAUST
G.EX	GARBAGE EXHAUST RISER
R.A	RELIEF AIR
SP	STAIR PRESSURISATION
C.SUP	CARPARK SUPPLY

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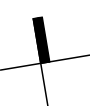
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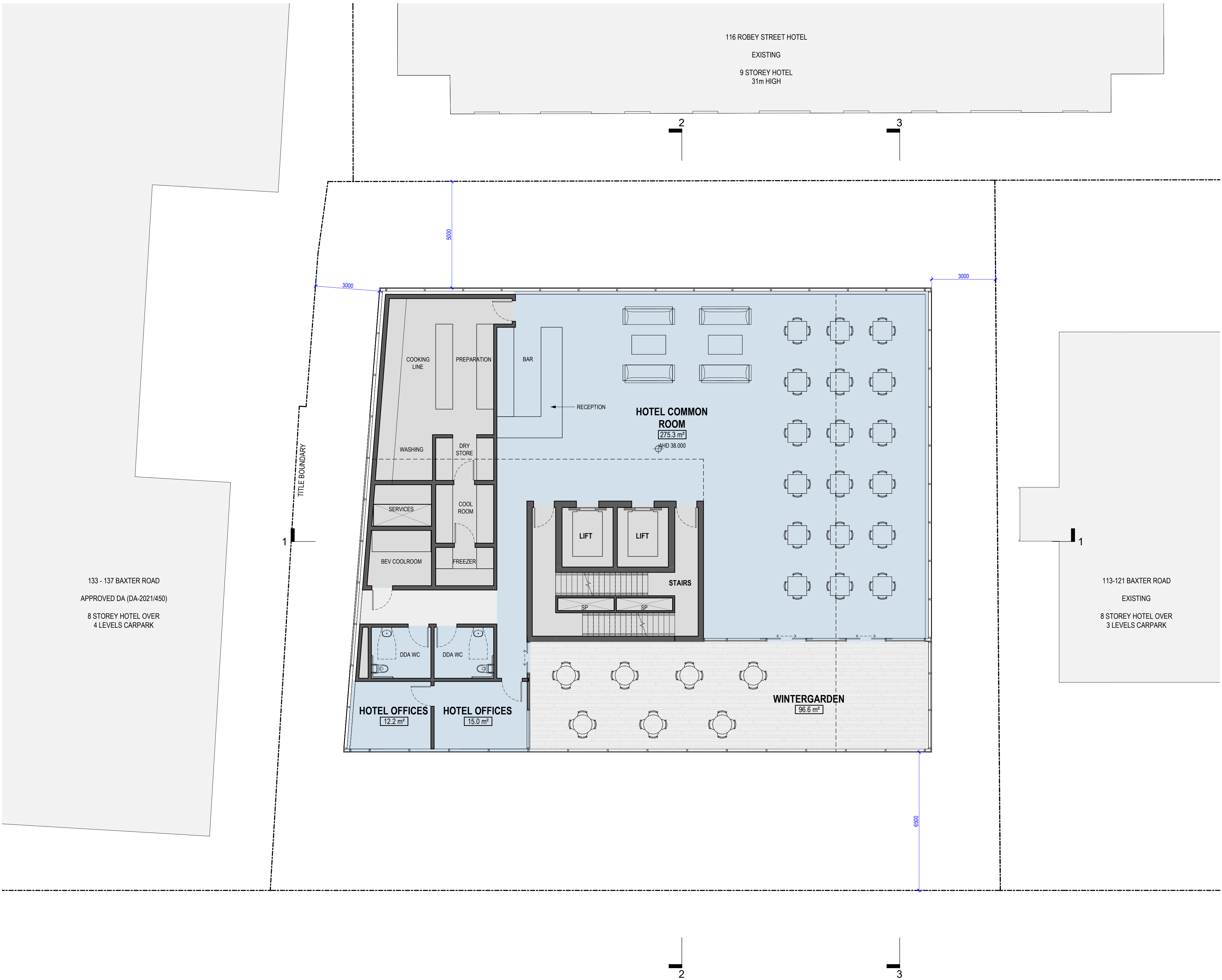
Drawing No. DA01.09

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Revisions	A	25.10.2023 Development Application	AT
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ABBREVIATIONS	
CP.EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K.EX	KITCHEN EXHAUST
P.EX	PUMP ROOM EXHAUST
R.EX	SERVICES ROOM EXHAUST
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R.A	RELIEF AIR
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C.SUP	CARPARK SUPPLY

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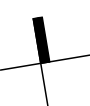
Drawing Level 9

Project No 221086 Author AT

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Drawing No DA01.10

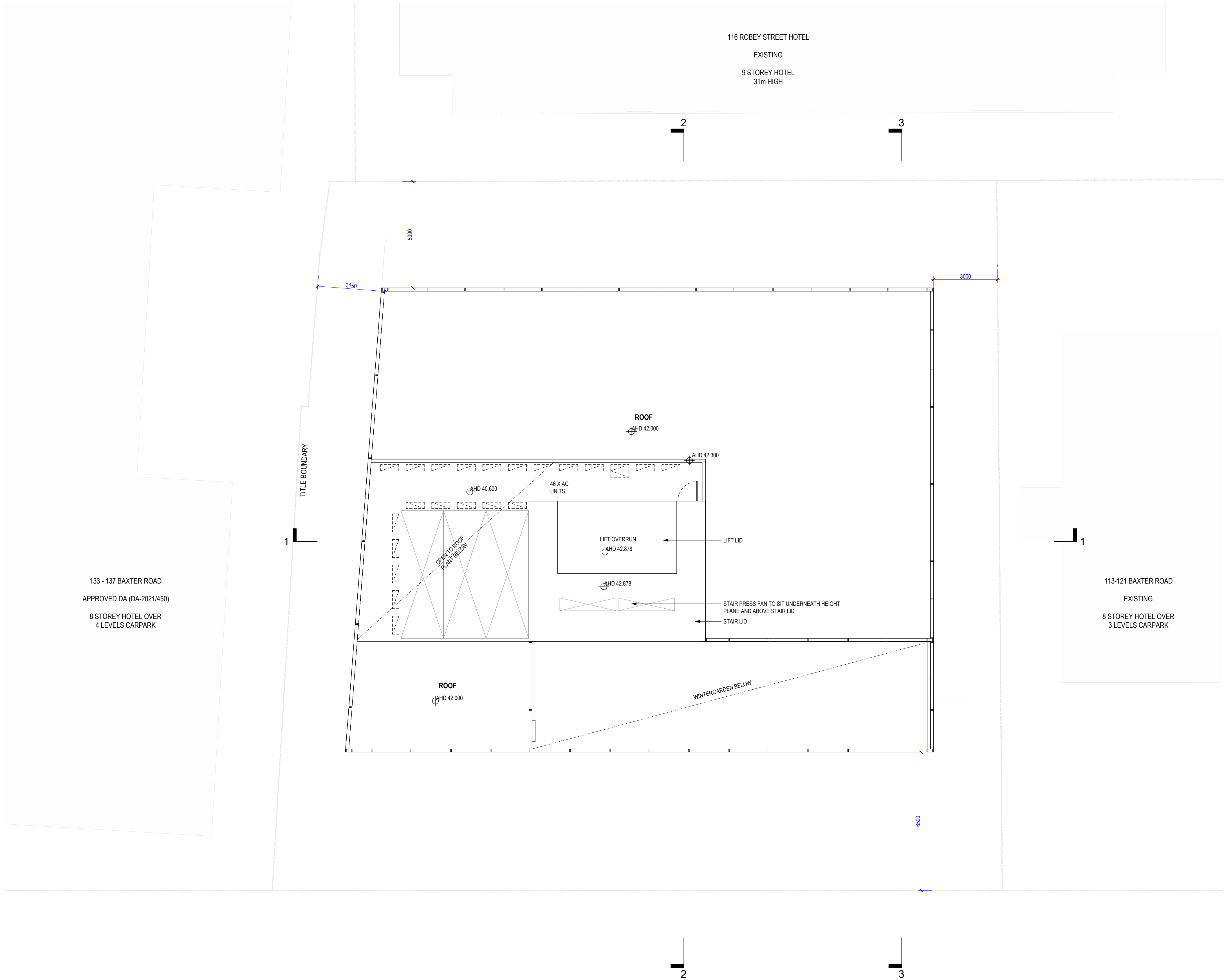
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DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
	B	13.09.2024 RFI Response	RL
	C	20.09.2024 RFI Response	RL

13/12/2024 11:44:30 AM

ABBREVIATIONS	
CP.EX	CARPARK EXHAUST
GC	GARBAGE CHUTE
HYD	HYDRAULICS
LEX	LOADING DOCK EXHAUST
K.EX	KITCHEN EXHAUST
P.EX	PUMP ROOM EXHAUST
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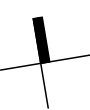
Drawing Roof

Project No 221086 Author AT

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Drawing No DA01.11

Revision C

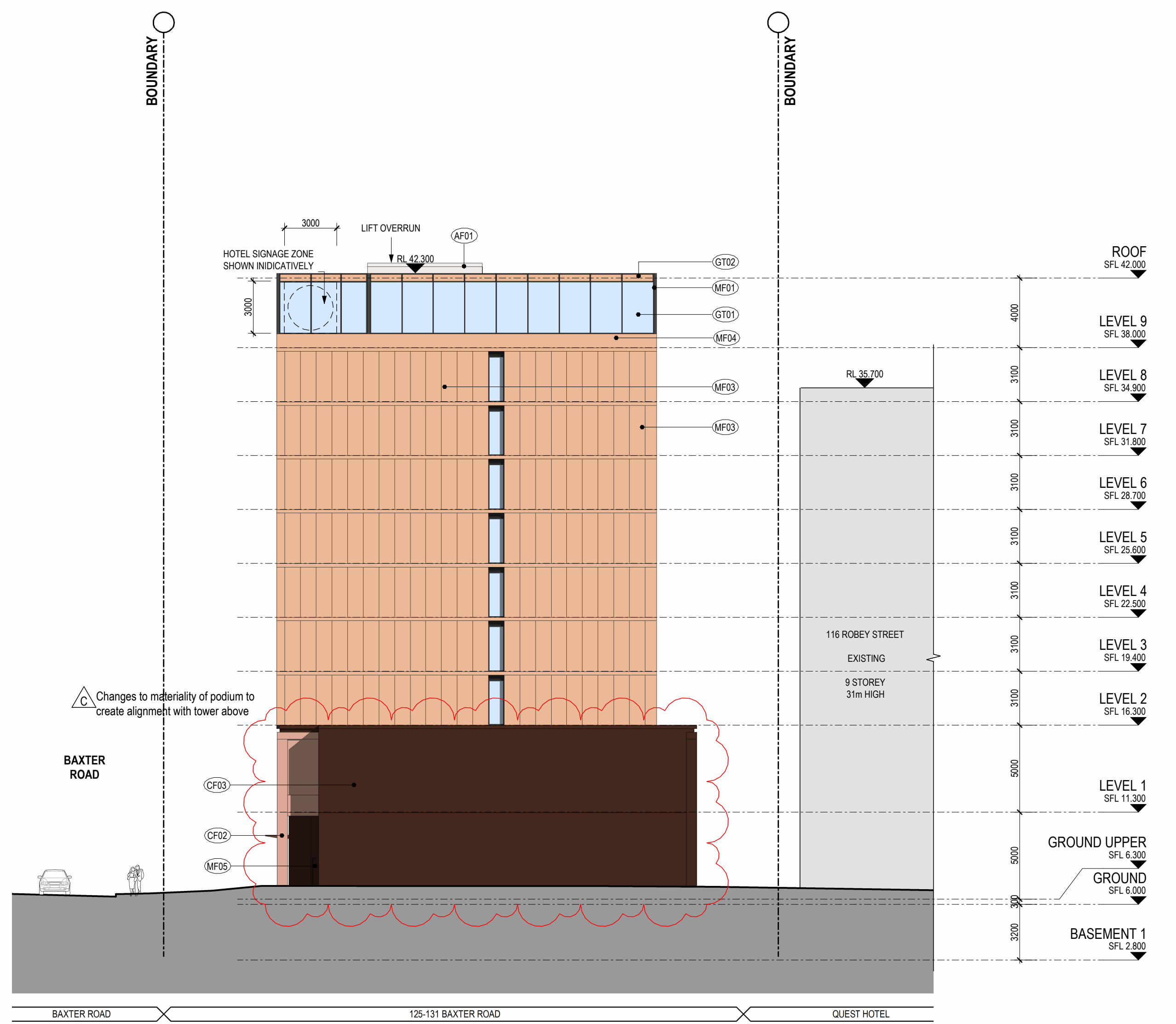


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South Elevation



East Elevation

## DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
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13/12/2024 11:44:46 AM

### FINISHES LEGEND

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

(AF01)	APPLIED FINISH TYPE 01	(MF01)	METAL FINISH TYPE 01
(CF01)	CONCRETE FINISH TYPE 01	(MF02)	METAL FINISH TYPE 02
(CF02)	CONCRETE FINISH TYPE 02	(MF03)	METAL FINISH TYPE 03
(CF03)	CONCRETE FINISH TYPE 03	(MF04)	METAL FINISH TYPE 04
(GT01)	GLAZING TYPE 01	(TL01)	TILE FINISH TYPE 01
(GT02)	GLAZING TYPE 02 (GLAZED SPANDREL)		
(GT03)	GLAZING TYPE 03 (GLAZED SPANDREL)		
(GT04)	GLAZING TYPE 04 (GLAZED SPANDREL)		

Project **125-131 Baxter Road**

125-131 Baxter Road, Mascot NSW 2020

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Drawing **South & East Elevation**

Project No **221086** Author **AT**

Scale: @ A1/ **1 : 200**

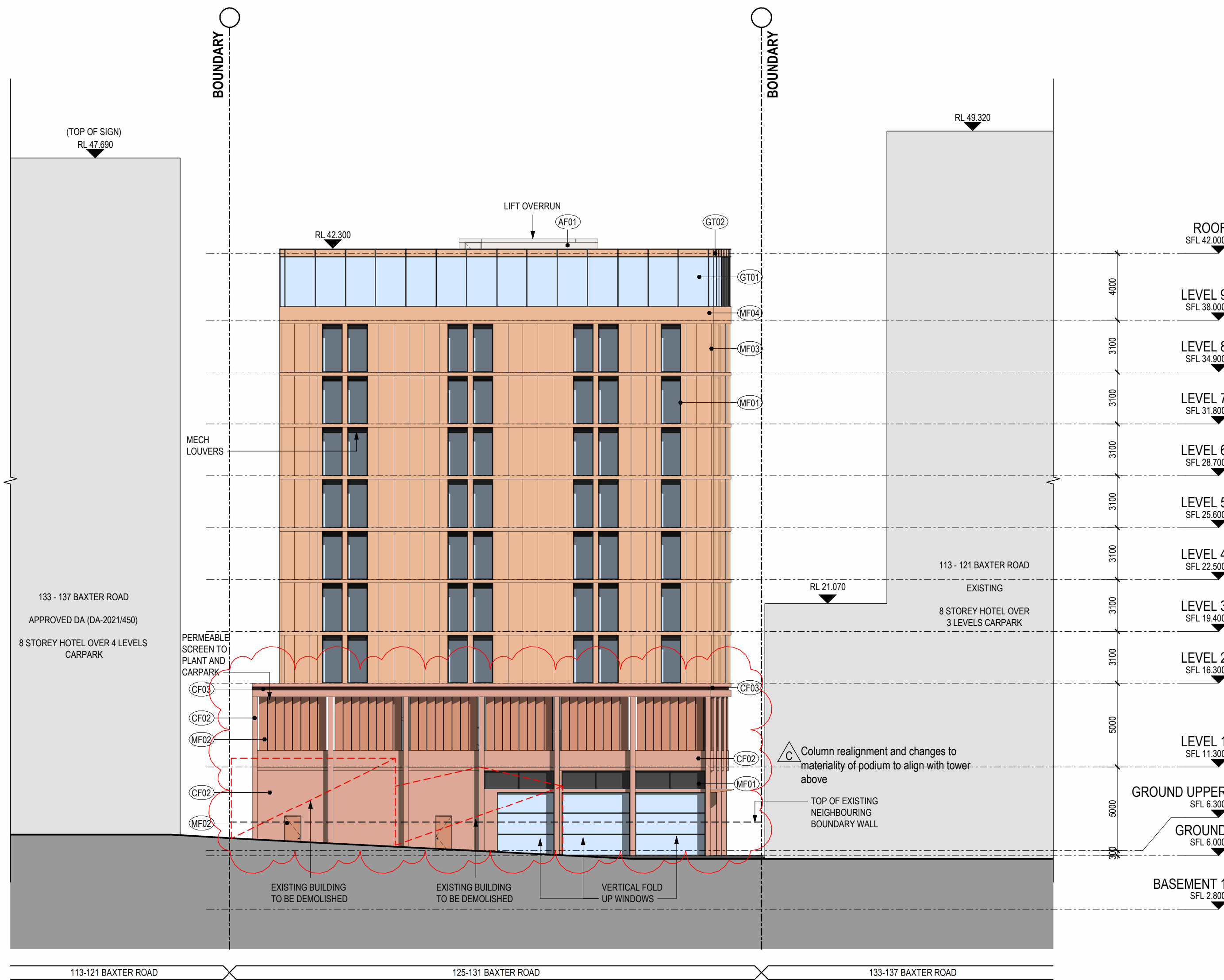
Drawing No. **DA02.01**

Revision **c**

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North Elevation



West Elevation

## DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
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### FINISHES LEGEND

REFER TO MATERIAL SELECTIONS FOR DESCRIPTION AND COLOUR

(AF01)	APPLIED FINISH TYPE 01
(CF01)	CONCRETE FINISH TYPE 01
(CF02)	CONCRETE FINISH TYPE 02
(CF03)	CONCRETE FINISH TYPE 03
(GT01)	GLAZING TYPE 01
(GT02)	GLAZING TYPE 02 (GLAZED SPANDREL)
(GT03)	GLAZING TYPE 03 (GLAZED SPANDREL)
(GT04)	GLAZING TYPE 04 (GLAZED SPANDREL)

(MF01)	METAL FINISH TYPE 01
(MF02)	METAL FINISH TYPE 02
(MF03)	METAL FINISH TYPE 03
(MF04)	METAL FINISH TYPE 04
(TL01)	TILE FINISH TYPE 01

Project **125-131 Baxter Road**

Drawing **North & West Elevation**

Project No **221086**

Author **AT**

Scale: @ A1 **1 : 200**

Drawing No **DA02.02**

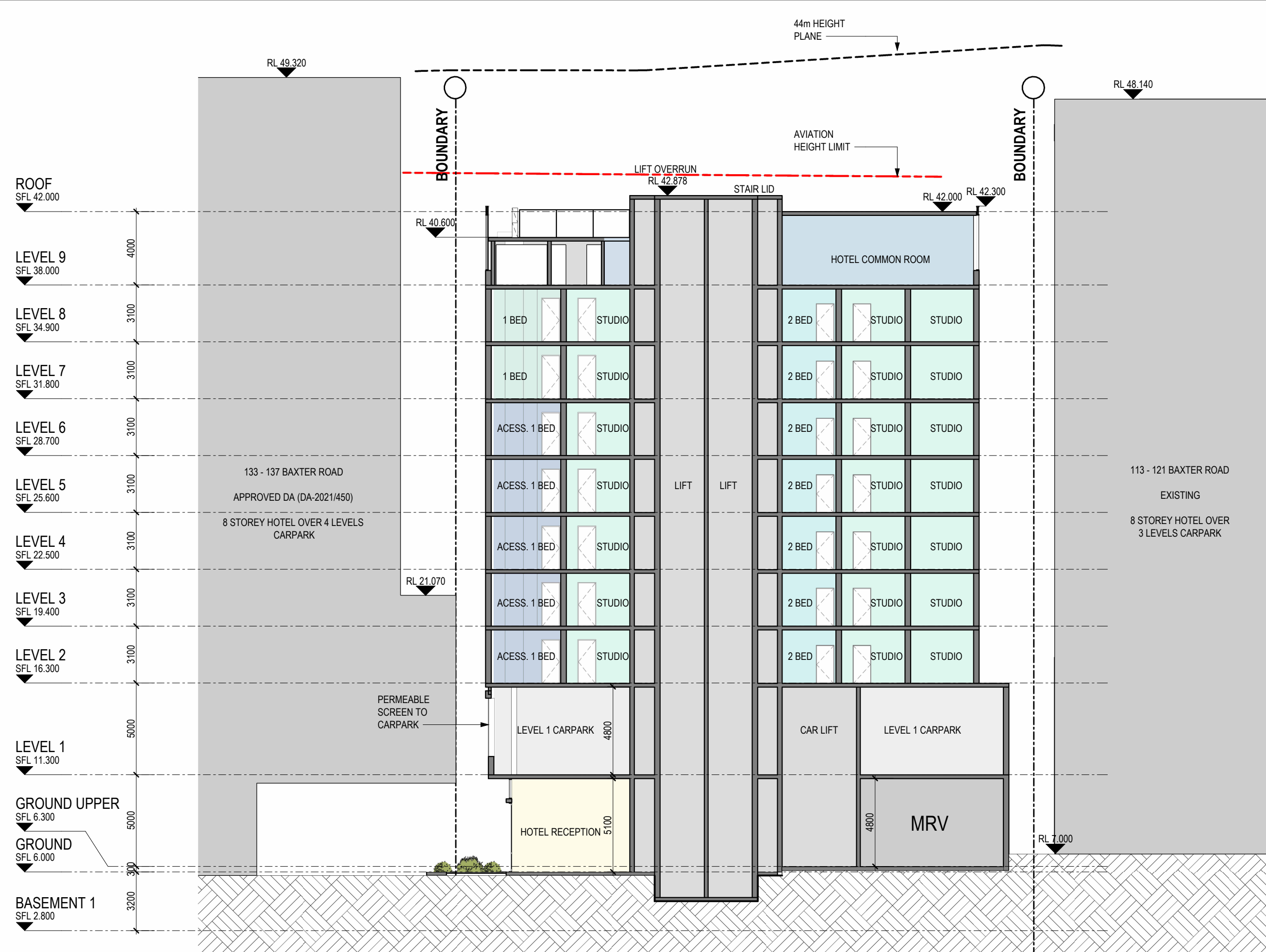
Revision **c**

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NSW 2020

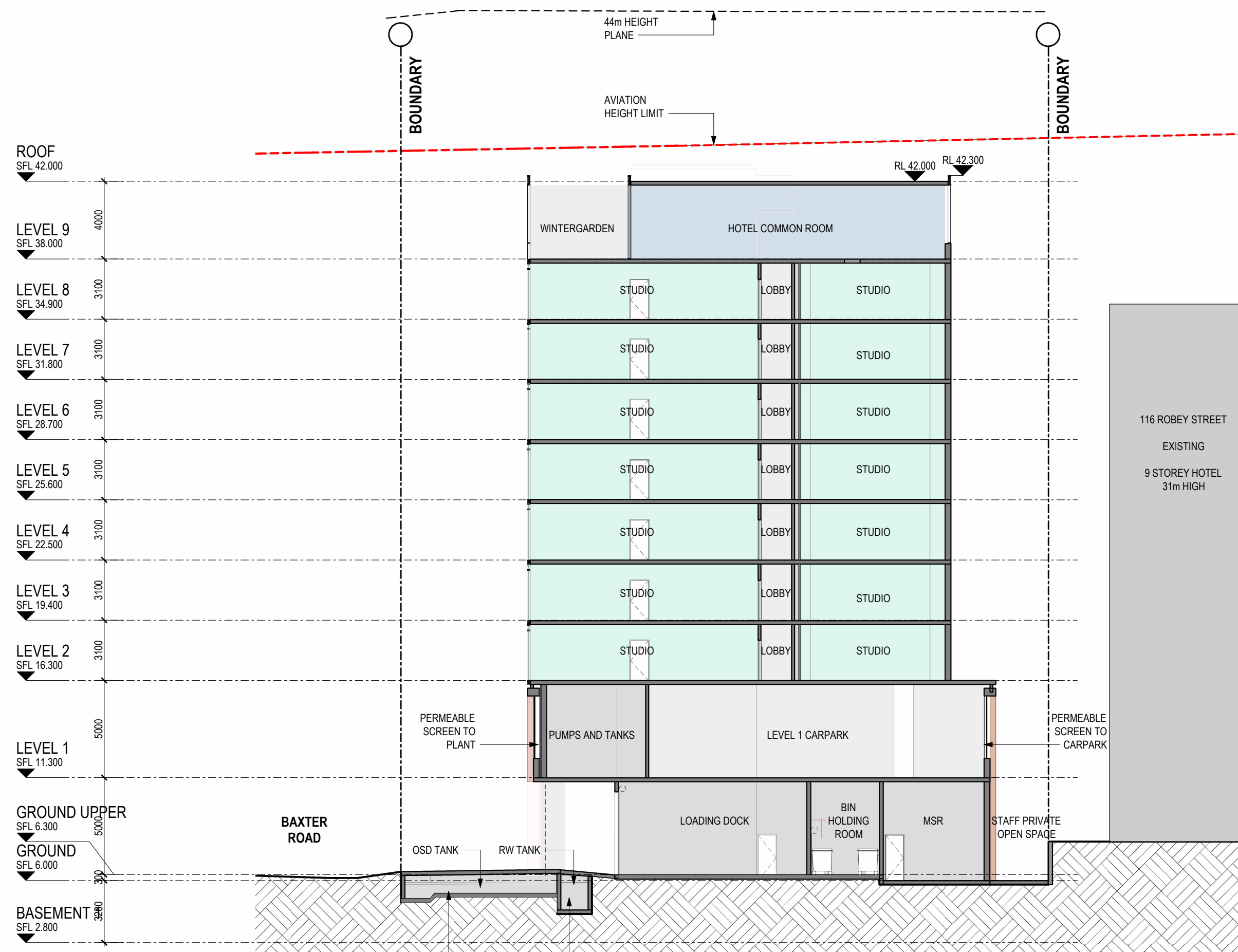
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SECTION 1



SECTION 2



SECTION 3

DEVELOPMENT APPLICATION

Revisions	A	25.10.2023 Development Application	AT
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Project 125-131 Baxter Road

Drawing Sections

Project No 221086

Author AT

Scale: @ A1 1 : 200

Drawing No DA03.01

Revision c

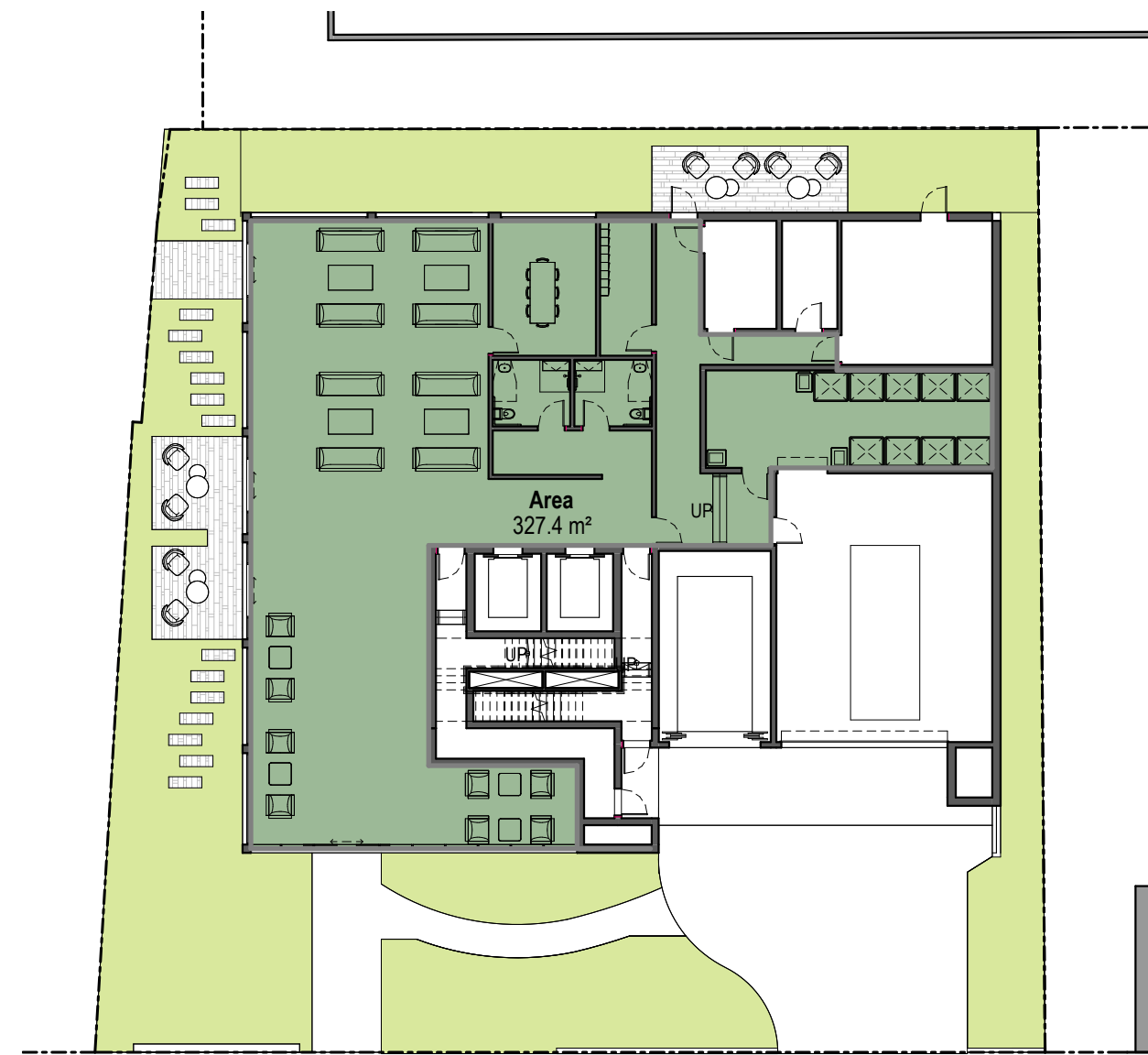
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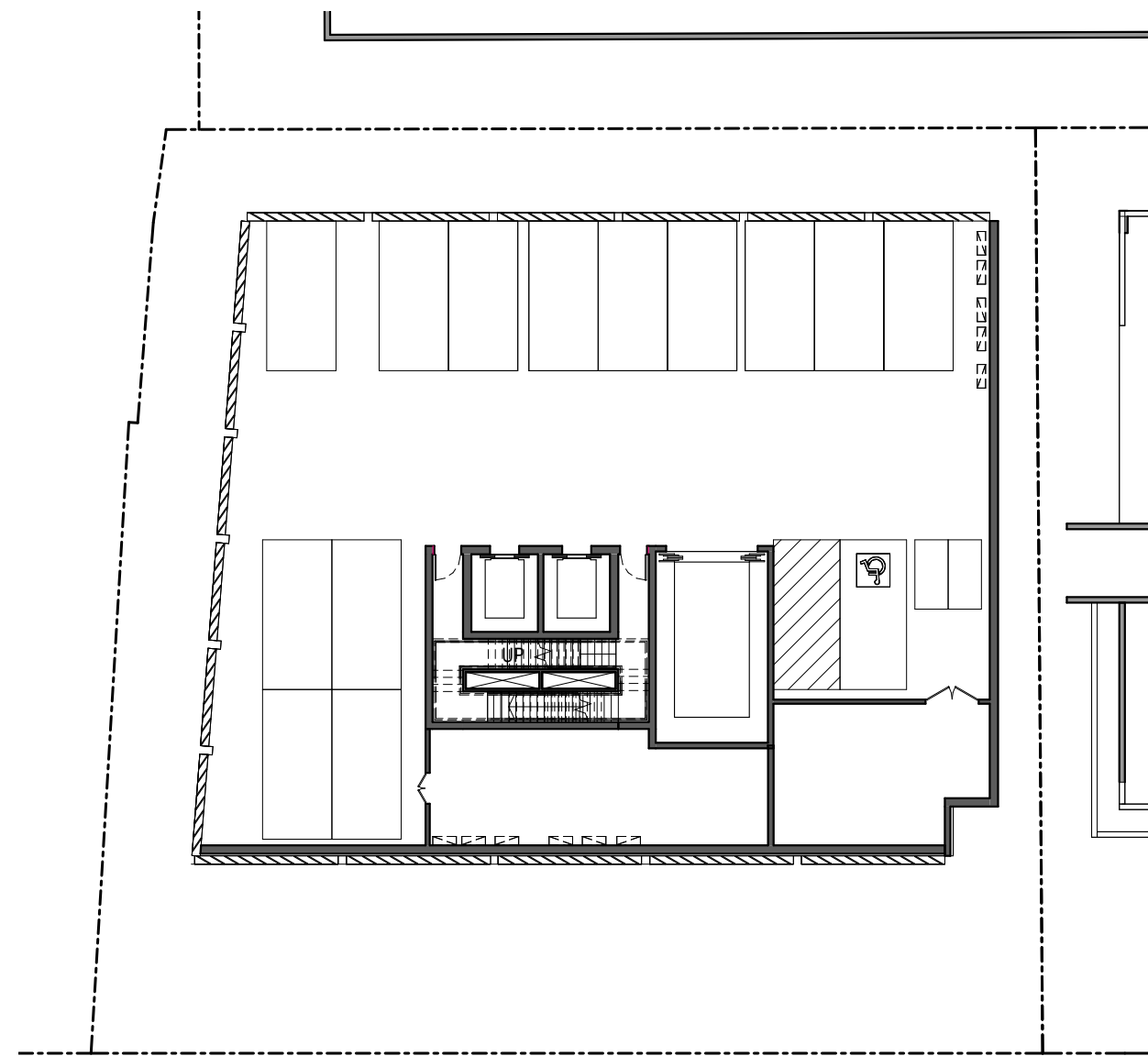
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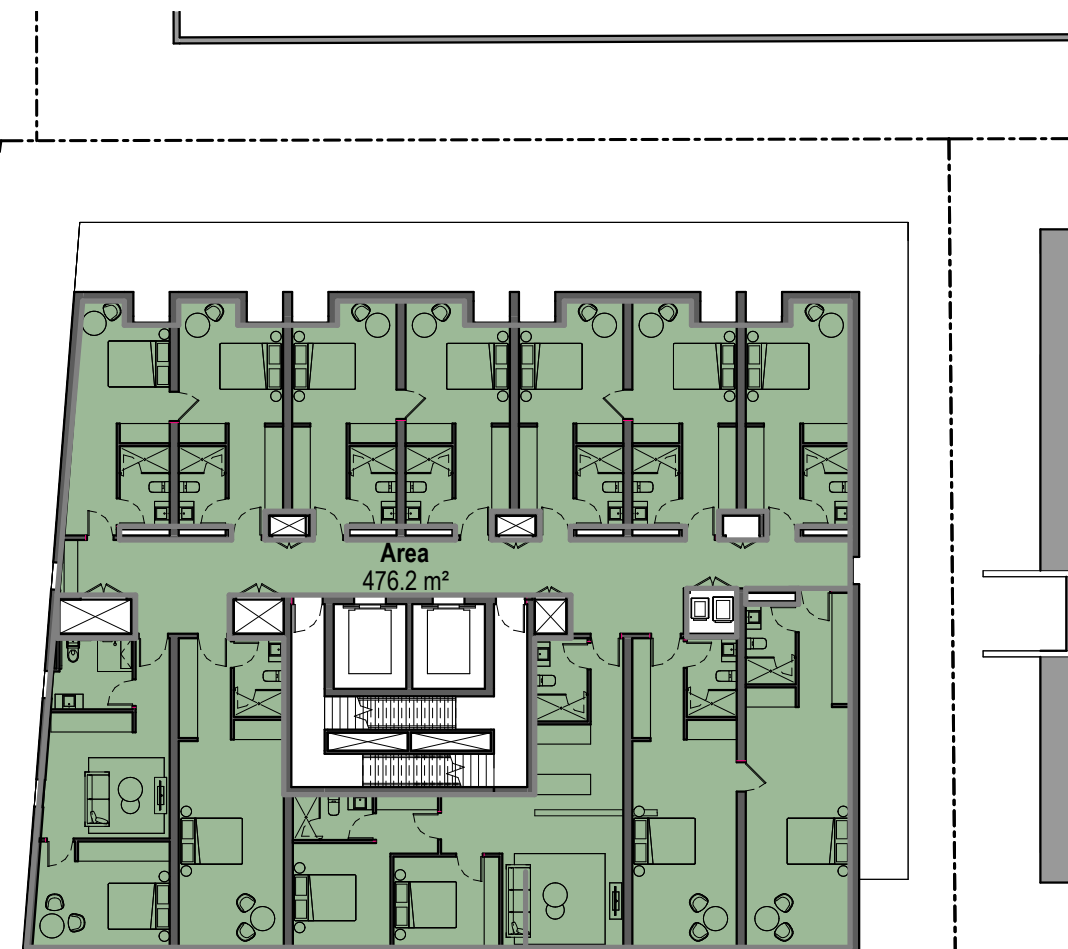




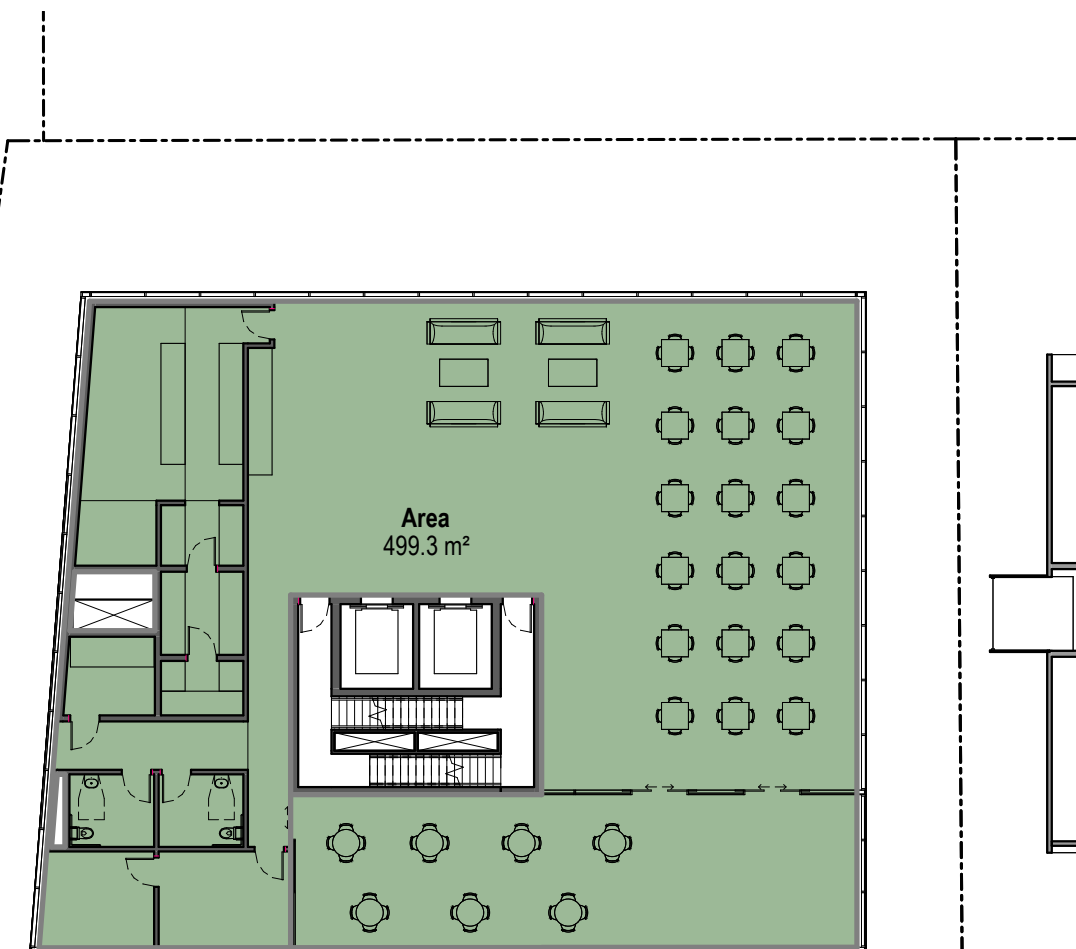
GROUND



LEVEL 1



LEVEL 2 - LEVEL 8



LEVEL 9

FSR : 3:1  
PERMISSIBLE GFA : 3306.6m²

Gross Floor Area	
Level	Area
GROUND	327.4 m²
LEVEL 2	476.2 m²
LEVEL 3	476.2 m²
LEVEL 4	476.2 m²
LEVEL 5	476.2 m²
LEVEL 6	476.2 m²
LEVEL 7	476.2 m²
LEVEL 8	476.2 m²
LEVEL 9	499.3 m²
4159.7 m²	

Site Area	FSR
1102.2 m²	3.77

gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes —  
(a) the area of a mezzanine, and  
(b) habitable rooms in a basement or an attic, and  
(c) any shop, auditorium, cinema, and the like, in a basement or attic, but excludes—  
(d) any area for common vertical circulation, such as lifts and stairs, and  
(e) any basement—  
(i) storage, and  
(ii) vehicular access, loading areas, garbage and services, and  
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and  
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and  
(h) any space used for the loading or unloading of goods (including access to it), and  
(i) terraces and balconies with outer walls less than 1.4 metres high, and  
(j) voids above a floor at the level of a storey or storey above.

Updated GFA plans to reflect changes to ground floor and to include wintergarden

## DEVELOPMENT APPLICATION

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Project 125-131 Baxter Road

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Drawing Gross Floor Area

Project No 221086

Author AT

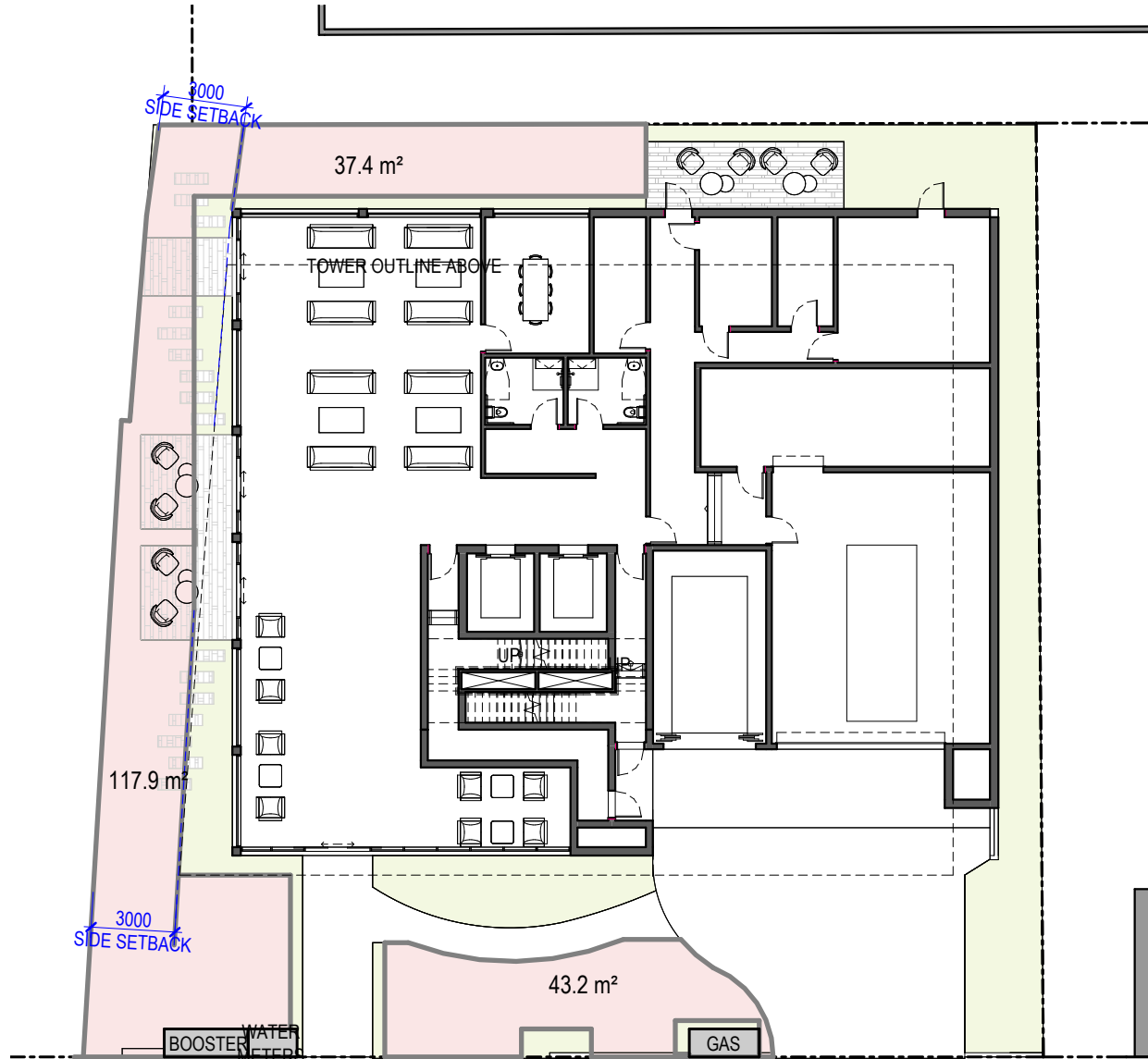
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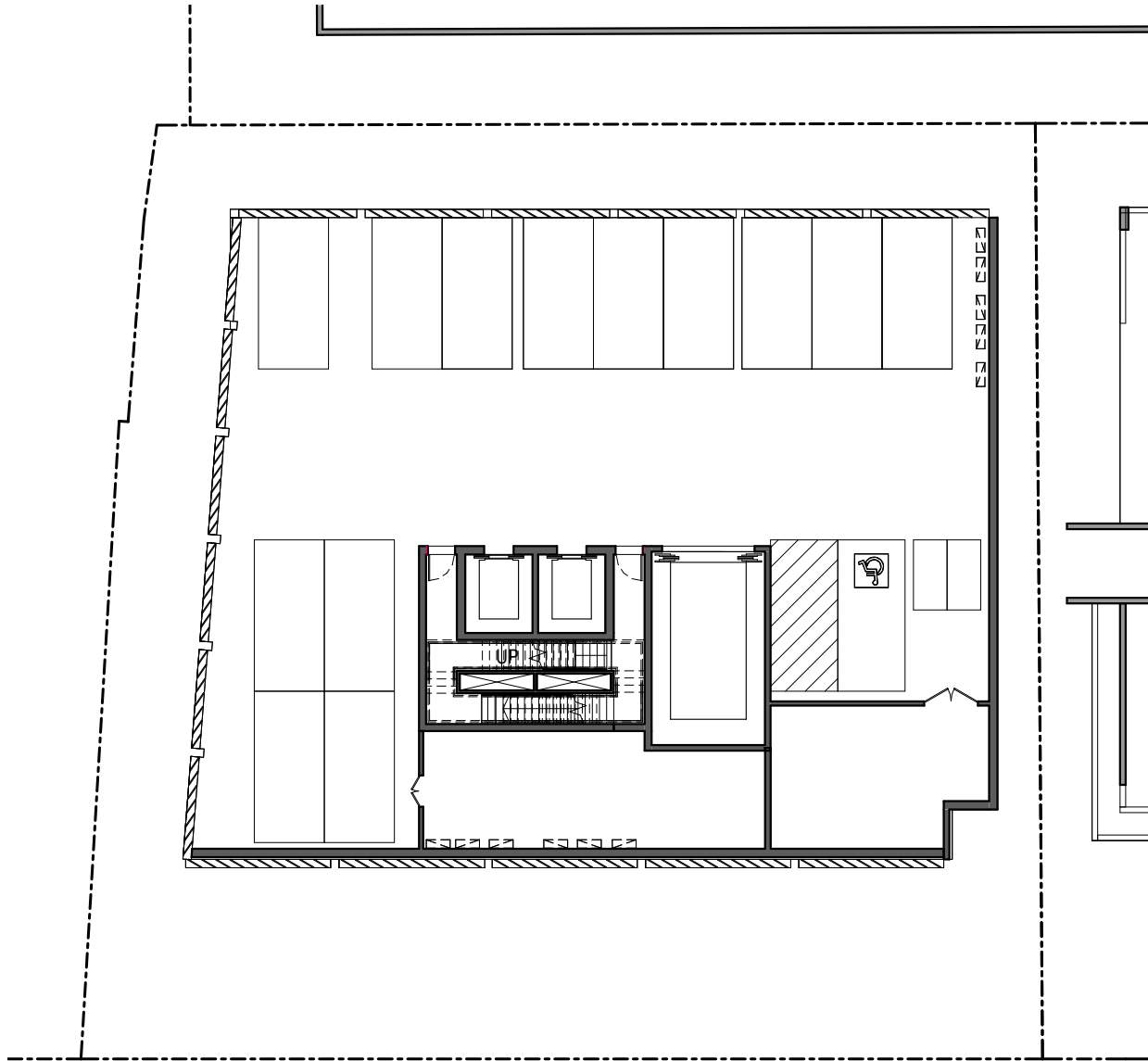
Revision D

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LANDSCAPE AREA - GROUND

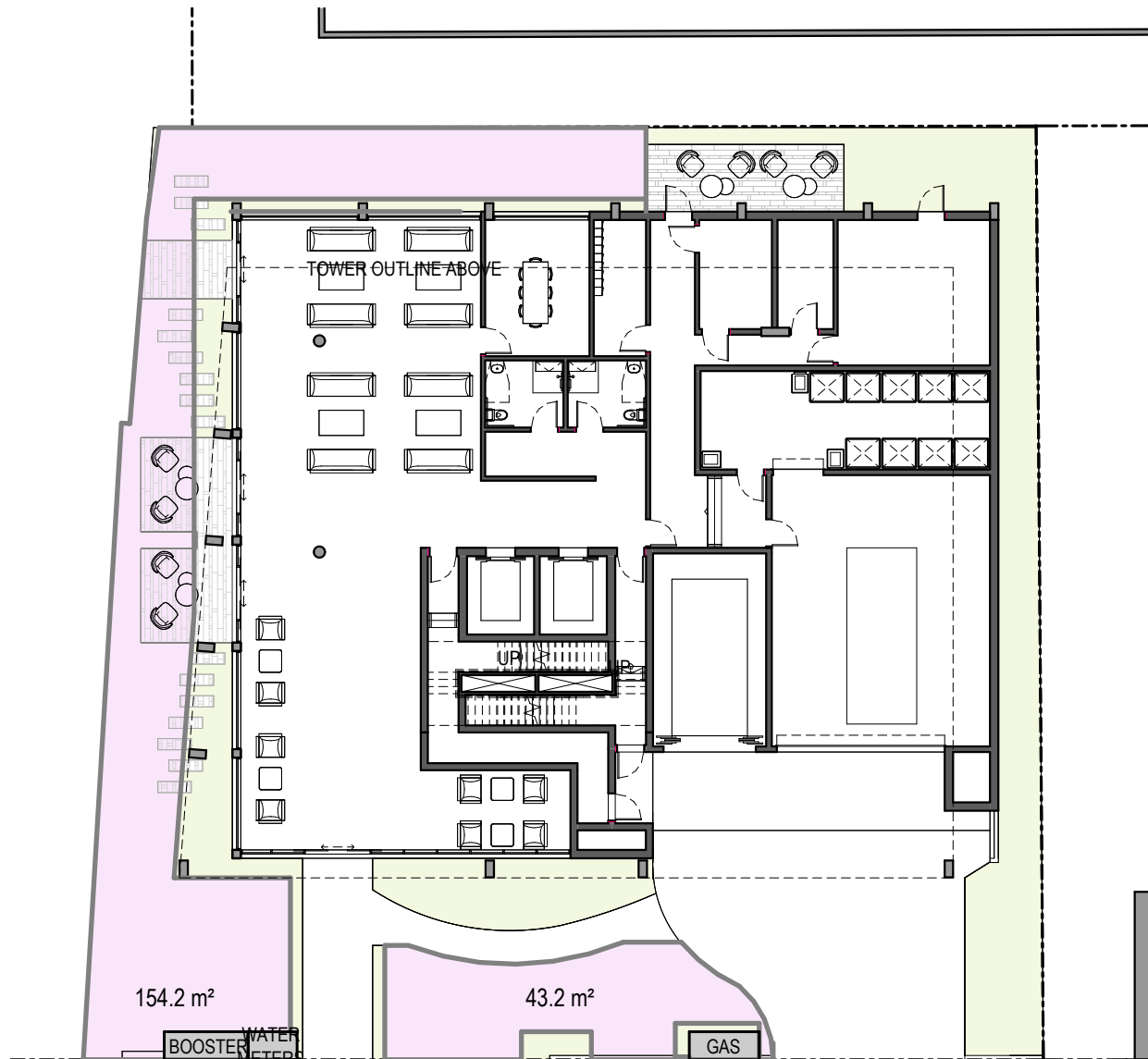


LANDSCAPE AREA - LEVEL 1

Site Area
1102.2 m²

MIN. REQ. LANDSCAPED AREA : 10% = **110.2m2**  
MAX. SIDE SETBACK LANDSCAPE AREA : 20% OF 110.2 = **22m2**  
MIN. LANDSCAPE AREA REQ. NOT WITHIN SIDE SETBACK : 110.2-22 = **88m2**

Landscape Area		
Name	Area	Landscape Percentage
Landscape Area	80.6 m²	7%
Side Setback Landscape Area	117.9 m²	11%
<b>TOTAL:</b>	<b>198.5 m²</b>	<b>18%</b>



DEEP SOIL - GROUND

Site Area
1102.2 m²

Deep Soil Area	
Level	Area
<varies>	197.4 m²

Deep Soil Area %	
Area	Percentage
197.4 m²	18%

## DEVELOPMENT APPLICATION

Revisions			
A	25.10.2023	Development Application	AT
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Project **125-131 Baxter Road**

125-131 Baxter Road, Mascot  
NSW 2020

Drawing **Landscape & Deep Soil Area**

Project No **221086** Author **AT**

Scale: @ A1 **1 : 250**

Drawing No **DA04.02**

Revision **C**

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LEVEL	HOTEL ROOM	FOOD AND DRINK PREMISES	RETAIL	PARKING	CIRCULATION/ SERVICES	TERRACE	HOTEL ROOMS				TOTAL UNITS
							No. HOTEL STUDIO	No. HOTEL 1 BED	No. HOTEL 2 BED	No. ACC. 1 BED	
GROUND	0.0 m²	40.7 m²	0.0 m²	0.0 m²	474.5 m²	0.0 m²	0	0	0	0	0
GROUND UPPER	0.0 m²	0.0 m²	0.0 m²	0.0 m²	7.8 m²	0.0 m²	0	0	0	0	0
LEVEL 1	0.0 m²	0.0 m²	0.0 m²	444.1 m²	110.9 m²	0.0 m²	0	0	0	0	0
LEVEL 2	395.3 m²	0.0 m²	0.0 m²	0.0 m²	93.7 m²	0.0 m²	10	0	1	1	12
LEVEL 3	396.1 m²	0.0 m²	0.0 m²	0.0 m²	89.8 m²	0.0 m²	10	0	1	1	12
LEVEL 4	396.1 m²	0.0 m²	0.0 m²	0.0 m²	89.8 m²	0.0 m²	10	0	1	1	12
LEVEL 5	396.1 m²	0.0 m²	0.0 m²	0.0 m²	89.8 m²	0.0 m²	10	0	1	1	12
LEVEL 6	396.1 m²	0.0 m²	0.0 m²	0.0 m²	89.8 m²	0.0 m²	10	0	1	1	12
LEVEL 7	396.1 m²	0.0 m²	0.0 m²	0.0 m²	92.0 m²	0.0 m²	10	1	1	0	12
LEVEL 8	396.1 m²	0.0 m²	0.0 m²	0.0 m²	92.0 m²	0.0 m²	10	1	1	0	12
LEVEL 9	0.0 m²	315.9 m²	0.0 m²	0.0 m²	107.2 m²	96.6 m²	0	0	0	0	0
	2771.7 m²	356.6 m²	0.0 m²	444.1 m²	1337.4 m²	96.6 m²	70	2	7	5	84

Level	CARPARKS Total	DDA Space	Motorbike/ Scooter Park	Bicycle Parks	Loading
GROUND	0	0	0	0	1
LEVEL 1	21	1	2	0	0
	21	1	2	0	1

DEVELOPMENT APPLICATION

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	D	27.11.2024 Post Planning Panel Amendments	GK
	E	13.12.2024 Post Planning Panel Amendments	GK

13/12/2024 11:45:28 AM

Project125-131 Baxter Road

DrawingDevelopment Summary

Project No221086

AuthorAT

Scale: @ A1

Drawing NoDA05.01

RevisionE

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AF01

Finish  
Location Applied Finish - Light  
Lift Overrun



GT01

Finish  
Location Glazing Type - Clear  
General Glazing & Windows



GT02

Finish  
Location Glazing Type - Light Terracotta  
colourback to match MF04  
Glazing & Windows



GT03

Finish  
Location Glazing Type - Medium Terracotta  
colourback  
Glazing & Windows



GT04

Finish  
Location Glazing Type - Dark Terracotta  
colourback  
Glazing & Windows



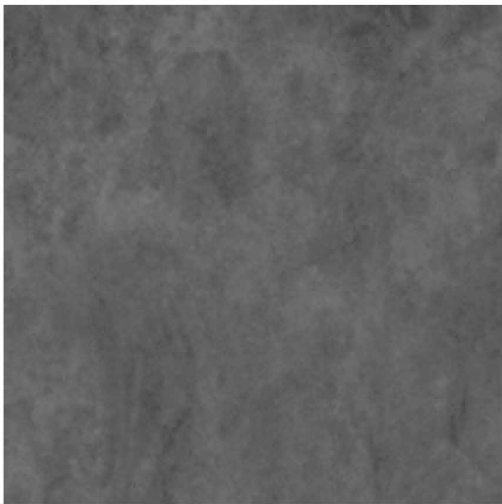
CF02

Finish  
Location Masonry Finish - Terracotta  
Podium Exterior Walls & Columns



CF03

Finish  
Location Masonry Finish - Dark to  
match MF05  
Podium Exterior Walls



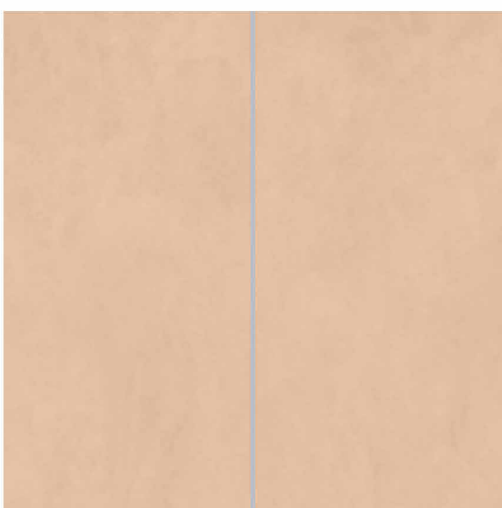
MF01

Finish  
Location Powdercoat Metal Finish - Grey  
Window Mullions & Louvers



MF02

Finish  
Location Powdercoat Metal Finish - Dark  
Terracotta  
Entry Awning, Vertical Blades &  
Doors



MF03

Finish  
Location Powdercoat Metal Finish - Light  
Terracotta with Grooves  
Tower Exterior Walls



MF04

Finish  
Location Powdercoat Metal Finish - Light  
Terracotta  
Tower Exterior Walls



MF05

Finish  
Location Powdercoat Metal Finish - Dark  
Doors

DEVELOPMENT APPLICATION

Revisions / A 27.11.2024 Post Planning Panel Amendments GK

Updates to materials palette to include a darker finish for podium to emphasise alignment with the tower above

Project / 125-131 Baxter Road

Drawing / Materials Palette

Project No / 221086 Author / AT

Scale: @ A1/

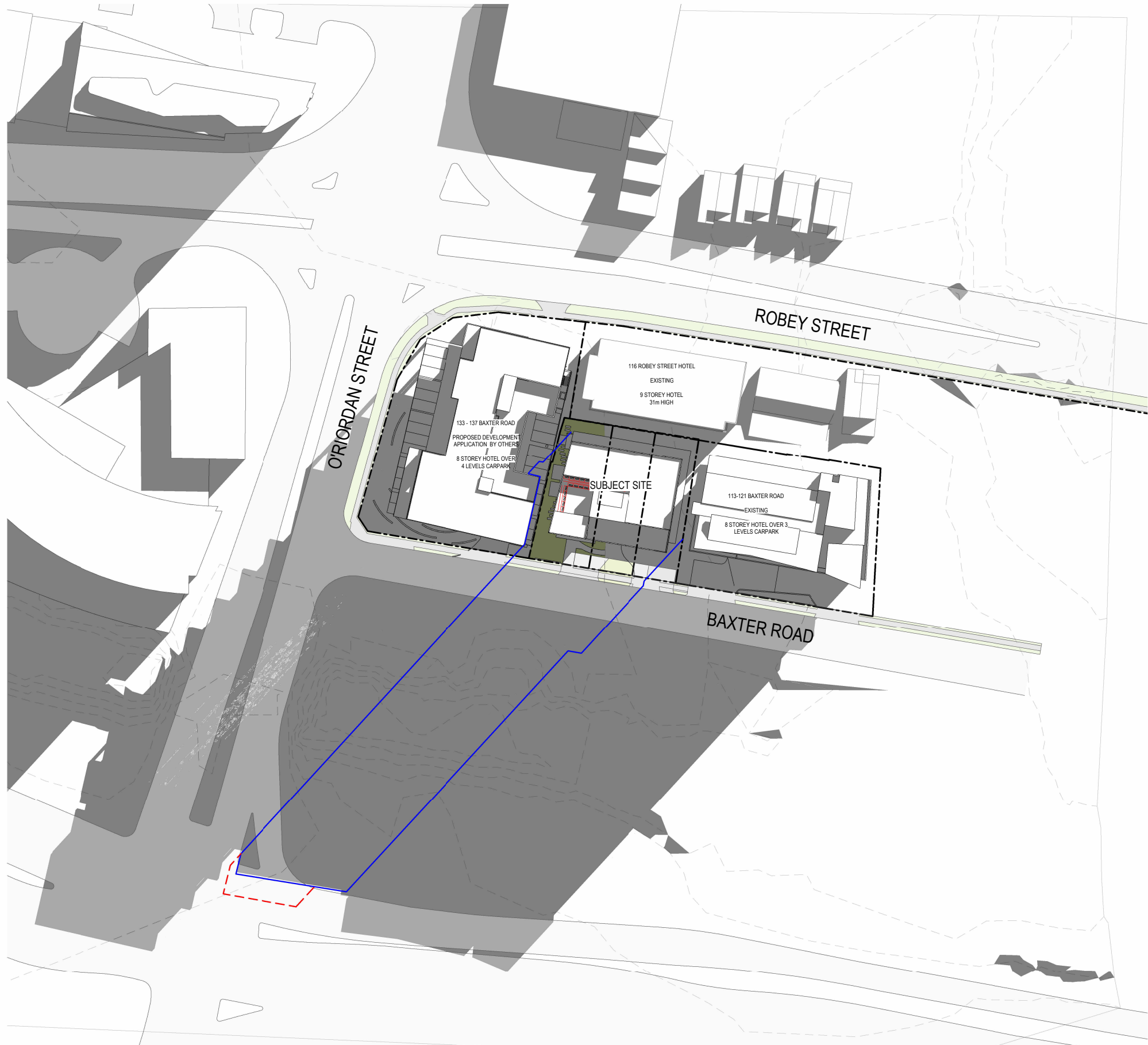
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Revision / A

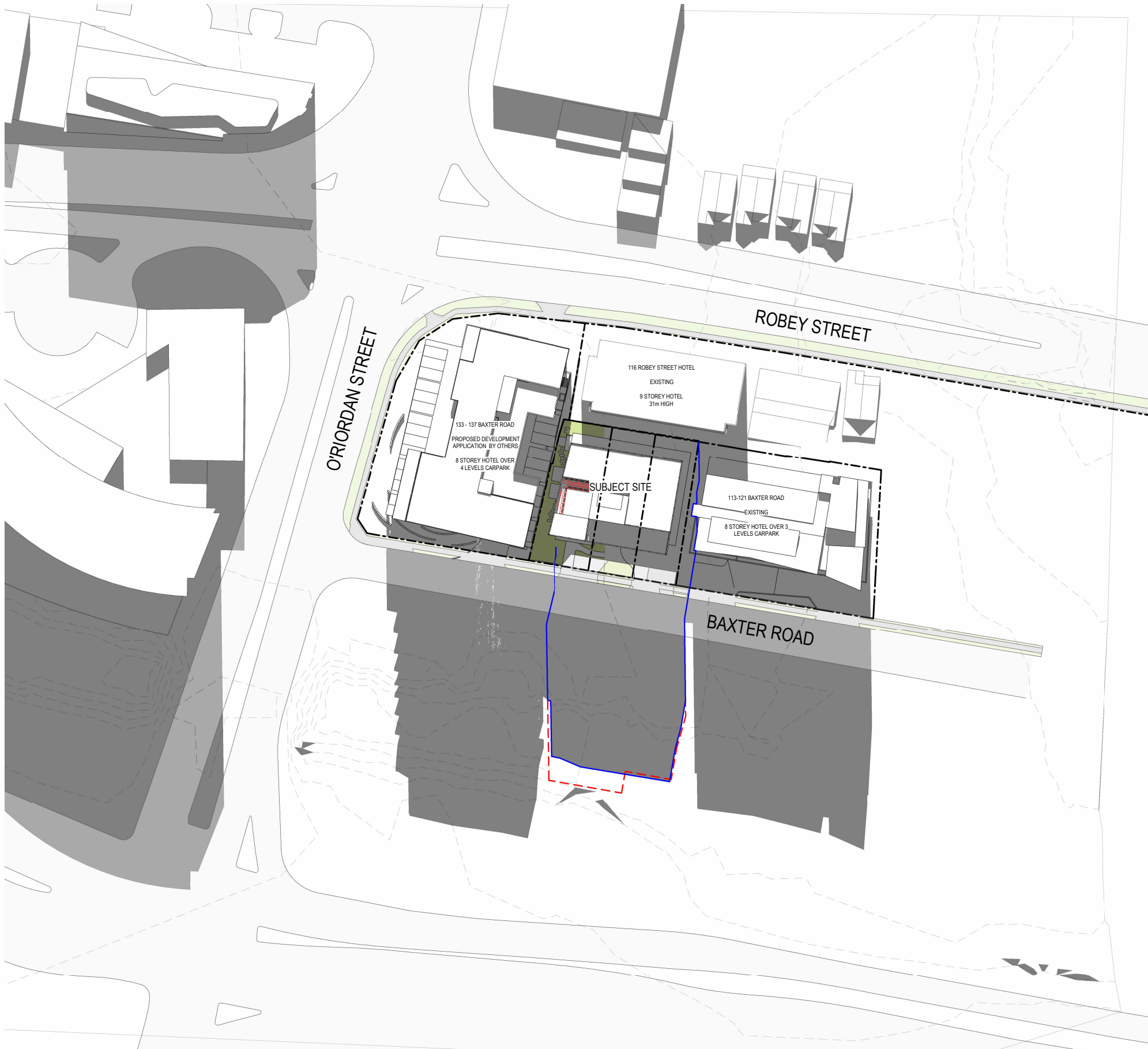
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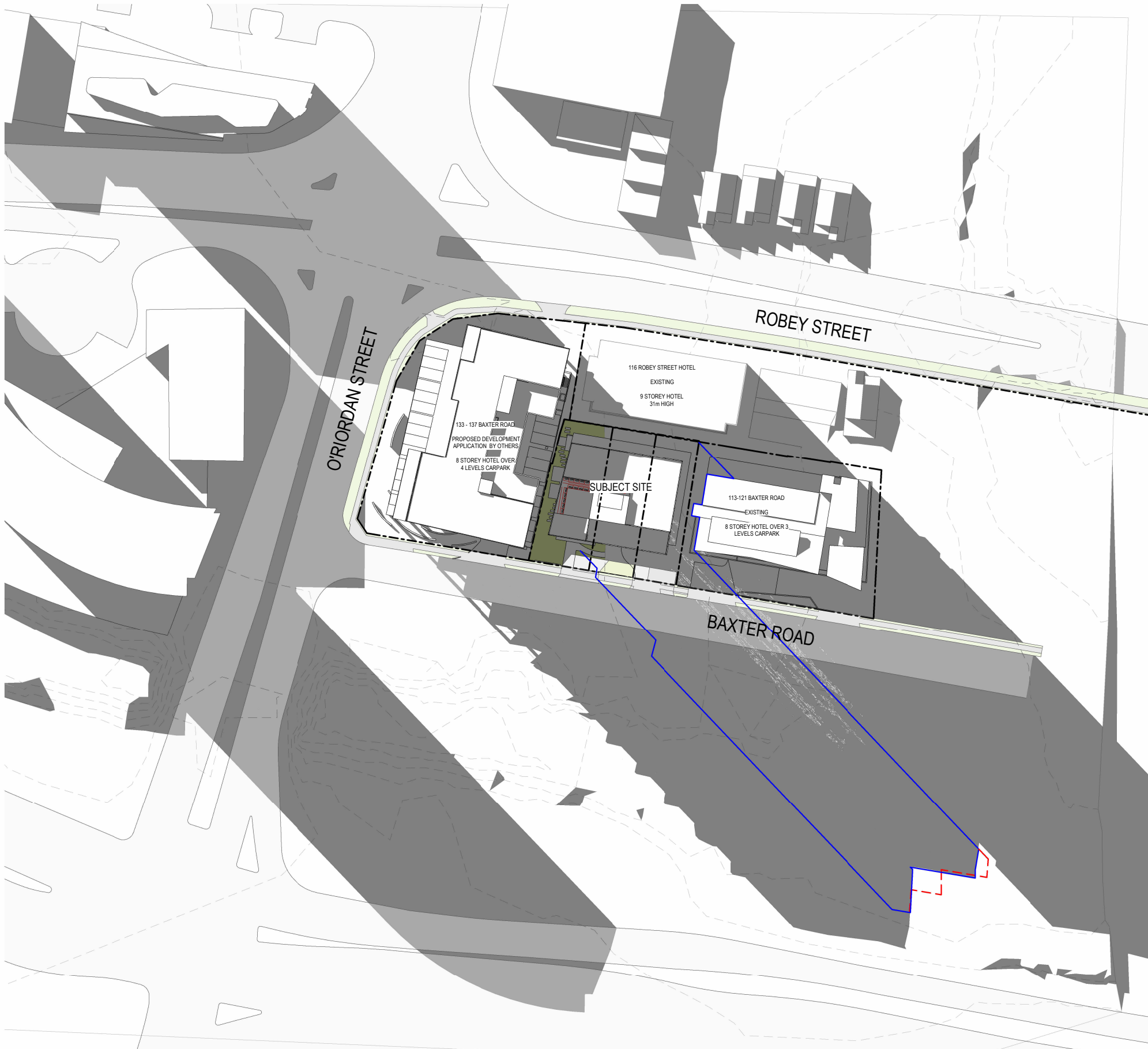




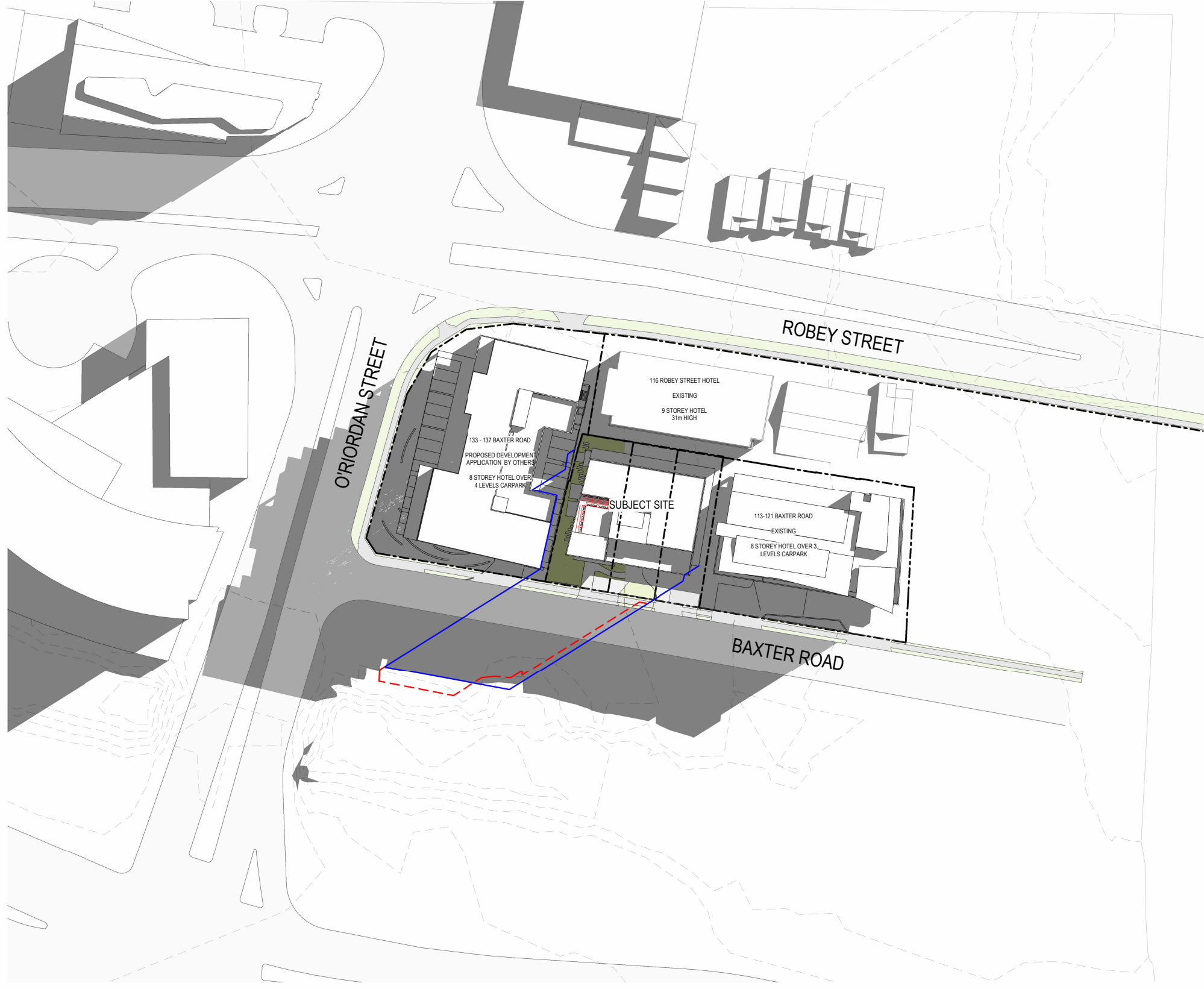
JUNE 22 - 9AM



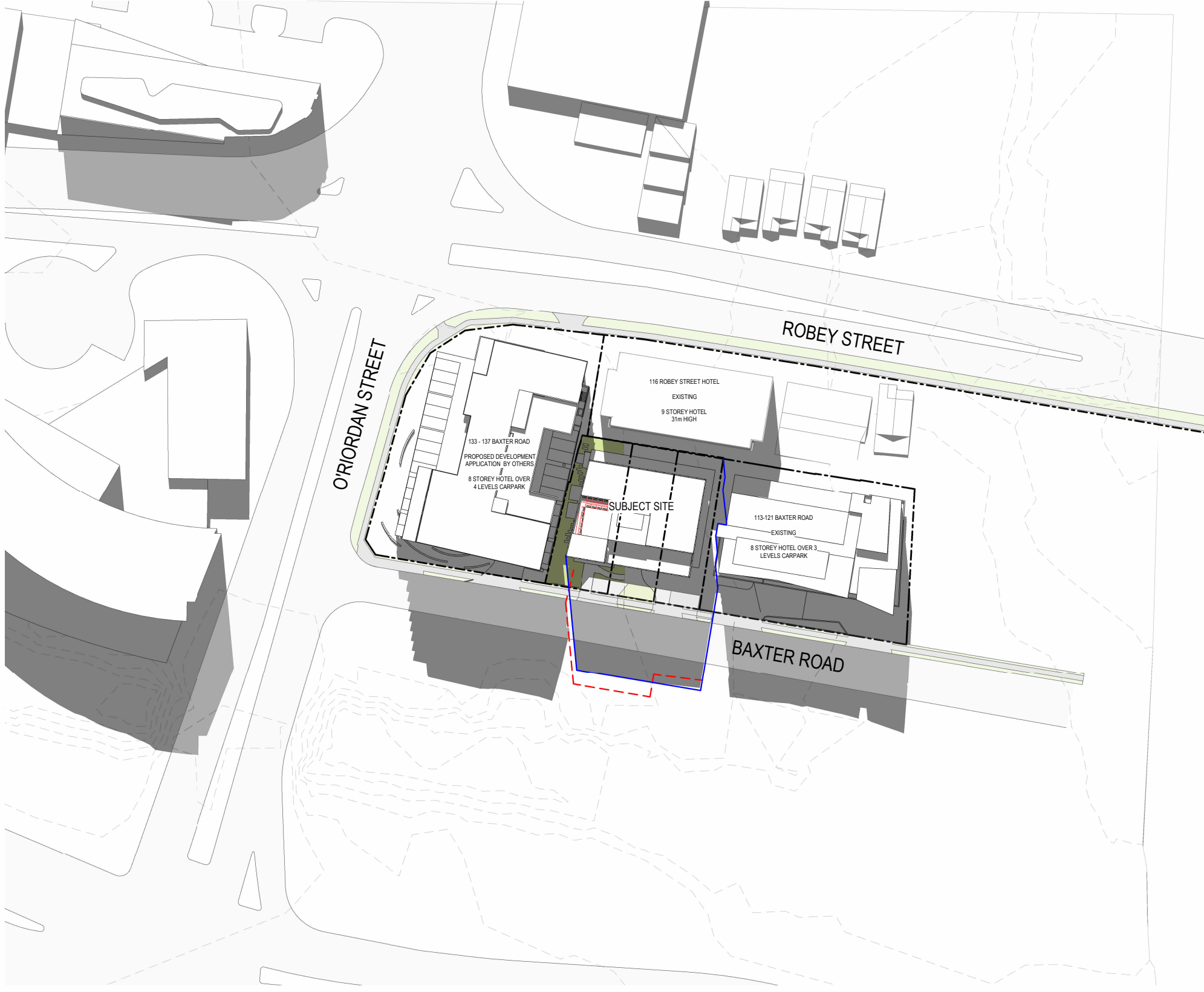
JUNE 22 - 12PM



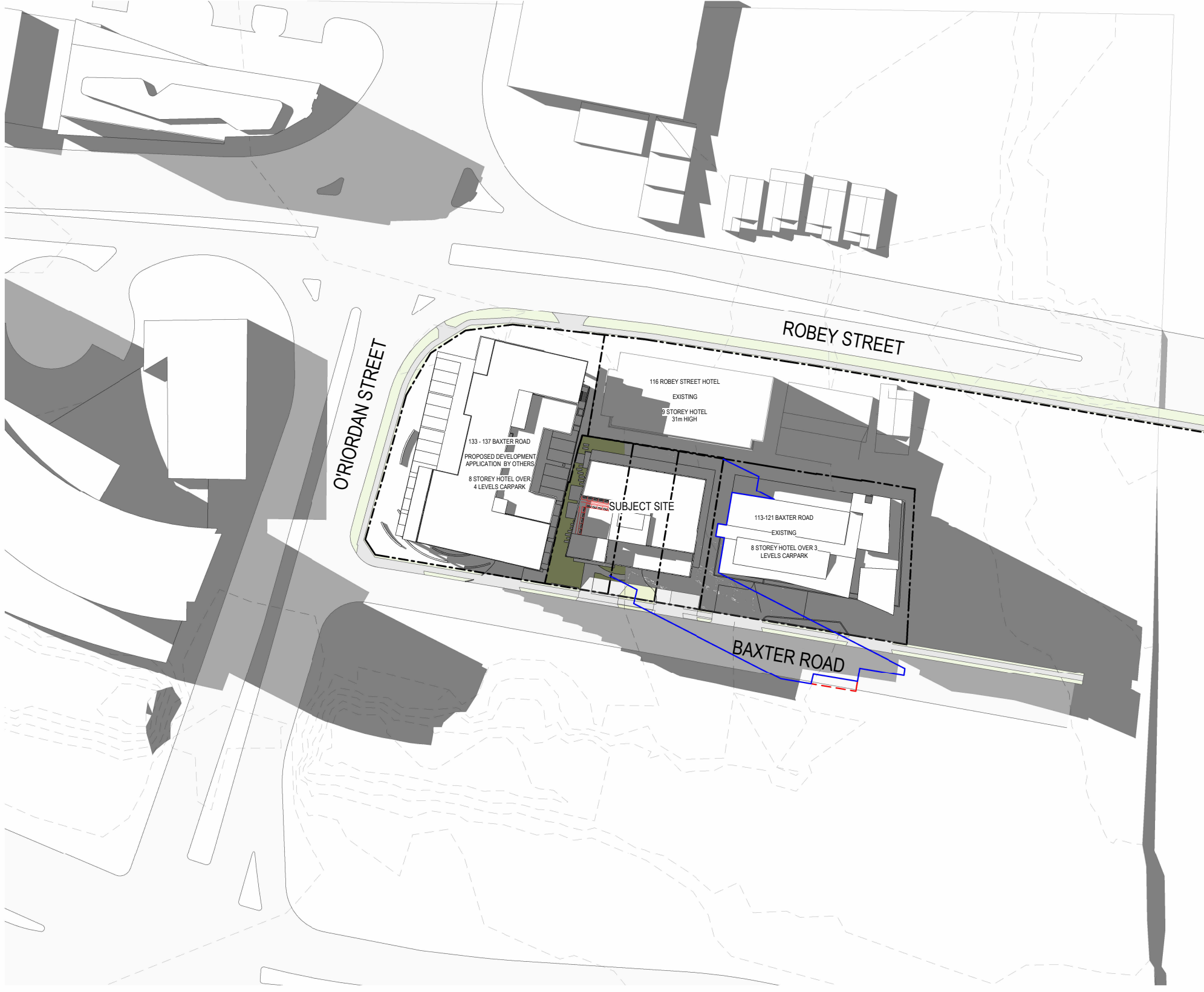
JUNE 22 - 3PM



SEPTEMBER 22 - 9AM



SEPTEMBER 22 - 12PM



SEPTEMBER 22 - 3PM

## DEVELOPMENT APPLICATION

Revisions / A 25.10.2023 Development Application  
B 13.09.2024 RFI Response  
C 20.09.2024 RFI Response

AT  
RL

## SHADOW DIAGRAM LEGEND:

PROPOSED SHADOW EXTENT ———  
PREVIOUSLY PROPOSED SHADOW EXTENT - - - - -

Project / 125-131 Baxter Road

Drawing / Shadow Diagrams

Project No / 221086

Author / AT

Scale: @ A1 / As indicated

Drawing No. / DA06.01

Revision / C

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